

THIRD ANNUAL EDITION

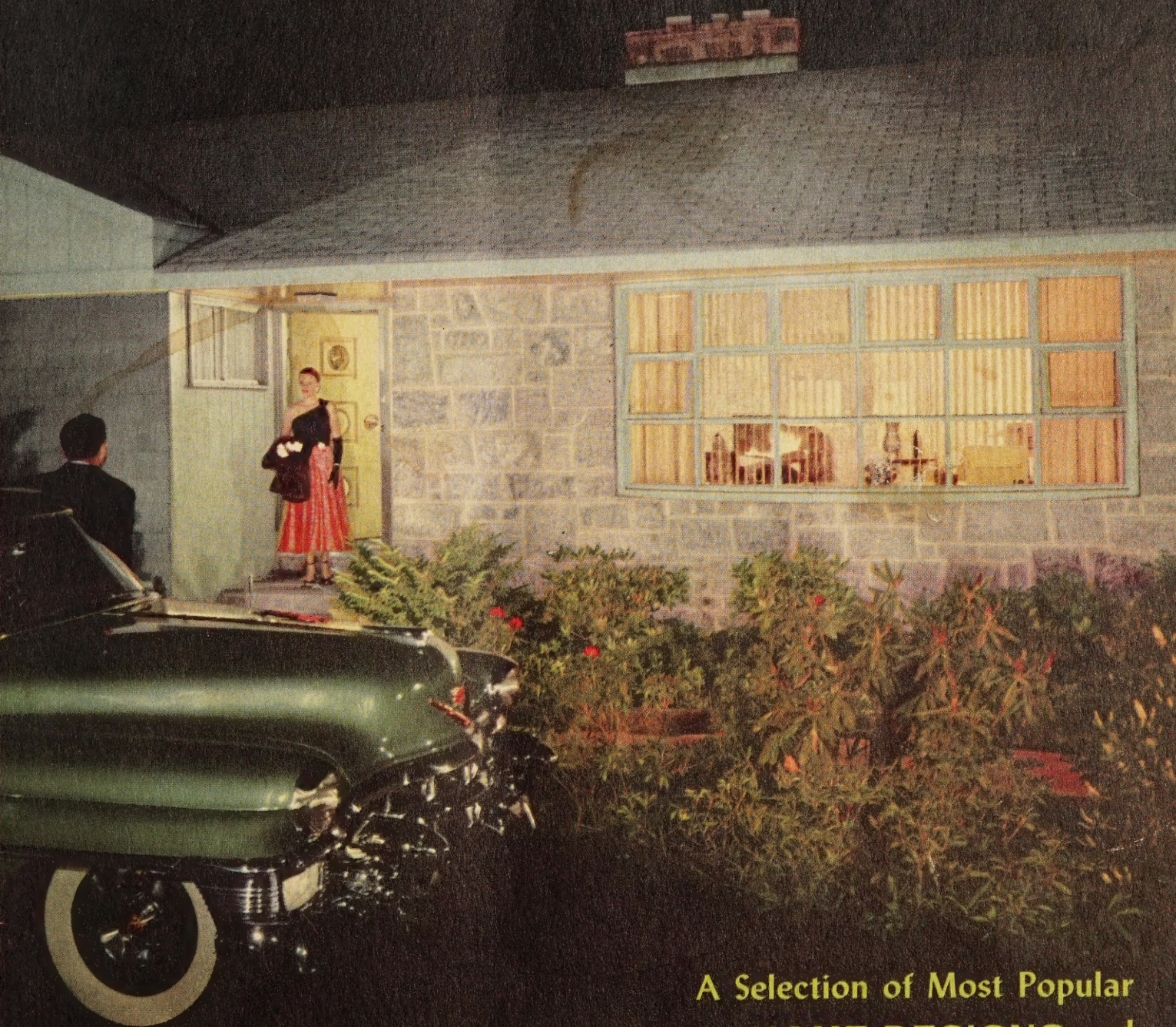
TOWN and COUNTRY

# HOMES

TO FIT YOUR BUDGET

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A Selection of Most Popular  
**HOME DESIGNS** and  
Information on **BUILDING**

*Blueprints Available*



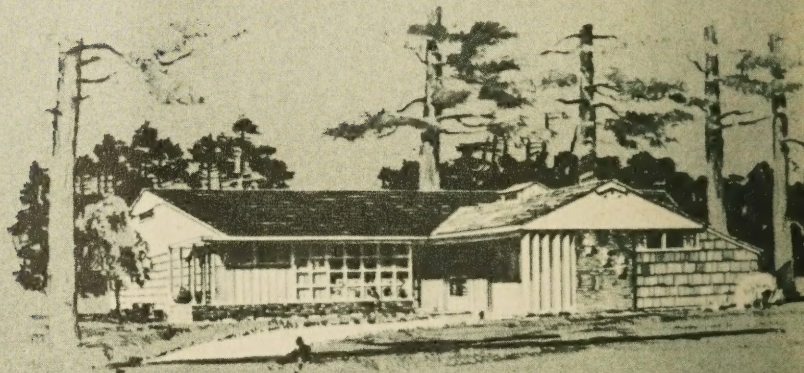


# You Can Live in by Prize

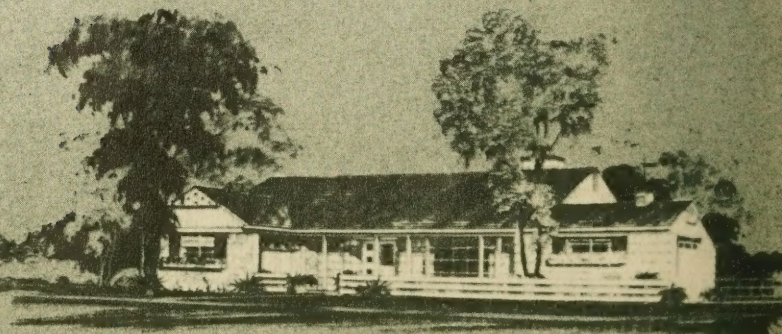
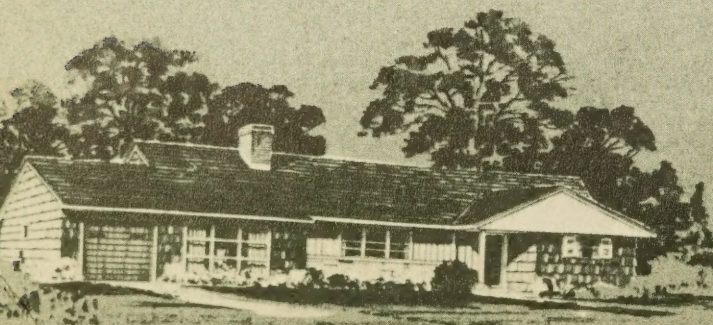
**HOMEMASTER Publications proudly present this collection of designs and believe most home seekers will find in it a home to fit their needs and dreams. Every effort has been made to display the material in most understandable form—large illustrations, new “visual-aid” floor plans that stand out from the page, plus numerous helpful sketches and photos of desirable details. We are sure you can easily select a home from this book that will make you a proud owner, and we will be equally pleased to have done our part.**

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Prize for Excellence of Design,  
Small Homes Guide Magazine.



Most Livable Home of the Year Prize,  
“Your Home of Tomorrow” Magazine



National Home Show House.



# a Home Designed Winning Architects

ACROSS THE BOTTOM of these two pages are shown a few of the homes that have won citations and prize awards for the architects whose work was selected for this book. Some of these houses are included; some have appeared in other Home-Master publications. This group of houses won honors because of modern, livable floor plans, charming appearance and careful planning for economy of construction, and you will find these desirable traits characteristic of all their work.

The versatility of the men whose work appears on the following pages is indicated by the wide range of styling and sizes as well as the many combinations of room arrangements. For those who want conservative modern with some traditional flavor, there are a number of designs which are highlighted with large window areas and broad terraces. Contemporary styling throughout can be found in others with ultra-smart details such as interior porches, combination rooms and open planning.

But it takes more than being a prize winner for a plan to be popular with prospective home owners like you. A design must be proved both practical and buildable. The homes in this book have been site-tested, some of them built hundreds of times. Others have been erected by merchant builders and successfully sold on the market. All plans call for at least partial basements, a feature still desired by the vast majority of people building homes; you will notice how special planning of these areas gives added value to the designs at surprisingly little extra cost.

To make the outstanding features of these carefully designed homes more understandable for you, the work of such well known home illustrators and photographers as Charles J. Spiess, Edward Hawley Olmstead, Anthony Wuchterl, George L. Scheffler and Richard Averill Smith have been used throughout this book. You can judge for yourself how well the plans deliver long-lasting beauty and convenient livability. Blueprints can be ordered with the coupons on the last page.

Architectural Award for Meritorious Design  
by the National Assn. of Home Builders

First Prize Long Island Home Builders'  
House Design Competition.

1953 National Assn. of Home Builders Merit Award  
for Outstanding Achievement in Home Design.

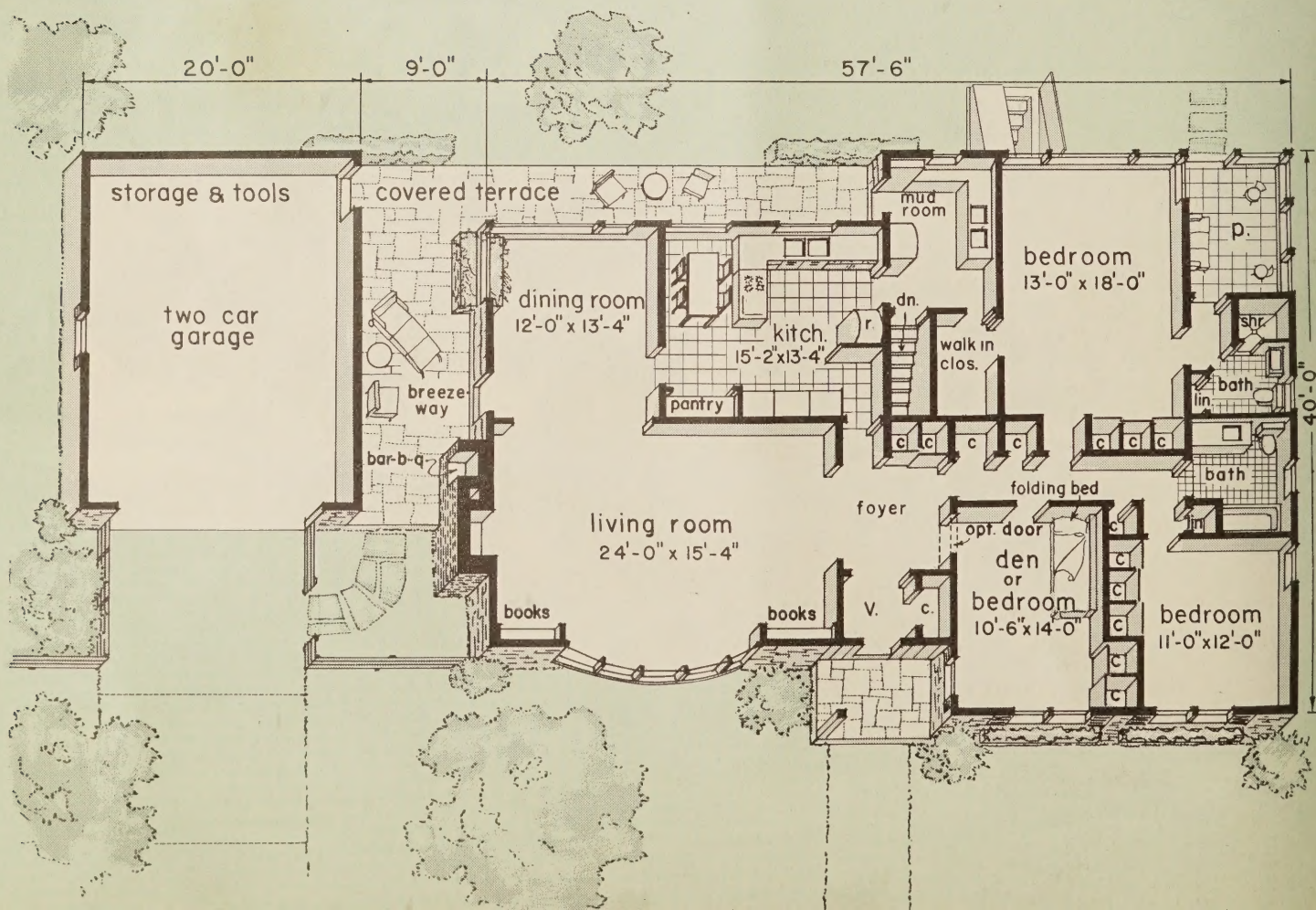
First Prize Long Island Home Builders'  
House Design Competition.

Prize-Winning Economy House,  
Small Homes Guide Magazine.



# Large Formal Plan with Many Covered Porches

ANY WAY YOU look at this house—at its broad exterior with conventional openings and generally substantial appearance, or at its plan which separates all areas into self-contained and single-purpose rooms—this is a formal house. For those who like to live in the grand manner, with very strict privacy for dining, entertaining and retiring, this is a perfect solution. But there are several informal features that give this home added livability. Almost the entire rear and one side are devoted to covered terraces and porches that invite a lot of parties and fun outside; the sketch, below at right, shows one of them.







PLAN NO.

**TC-403**

SIZE: Sq. Ft.

House 1921; Porches 307  
Garage 500

SIZE: Cu. Ft.

House 25311; Porches 2076  
Garage 6000

THIS IS A THREE bedroom plan with eight closets divided nearly evenly since one bedroom can also be used as a den and will require less closet space. The master bedroom which is large and has a window wall running around the corner, has its own luxury bath and a private, enclosed porch. So, if the older folks want, they can flee youthful gatherings elsewhere in the home. The big bath is handy to the other bedrooms and may be used by guests going through the short hall. An excellent feature of this plan is the multi-purpose mud room with lavatory at the rear which guarantees that this fine home will remain clean even during the most dismal weather.

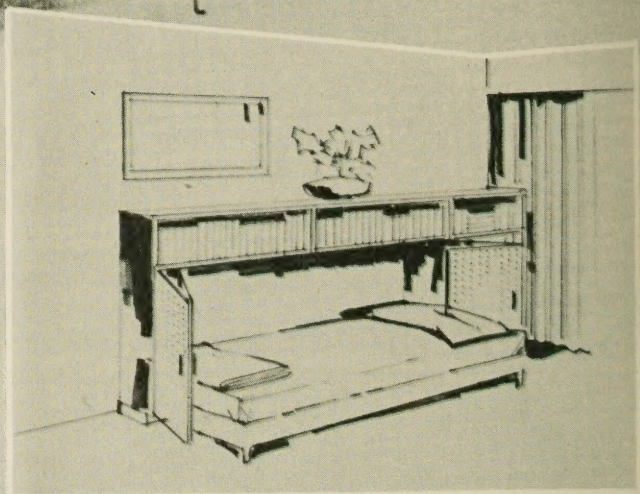
THE SKETCH at right looks from the terrace into the corner window of the dining room and through a part of the breezeway. Careful study of the plan at left will indicate how a fine kitchen, many extra closets and useful built-ins have been thoughtfully included.







THE SKETCHES above and right show what can be done with imagination and modern materials and equipment. The double set of doors in the cabinet slide on a track at the top to permit the bed to be folded down from the wall. These space-saving built-ins are relatively inexpensive and add greatly to the convenience and attractiveness of the small home.



PLAN NO.

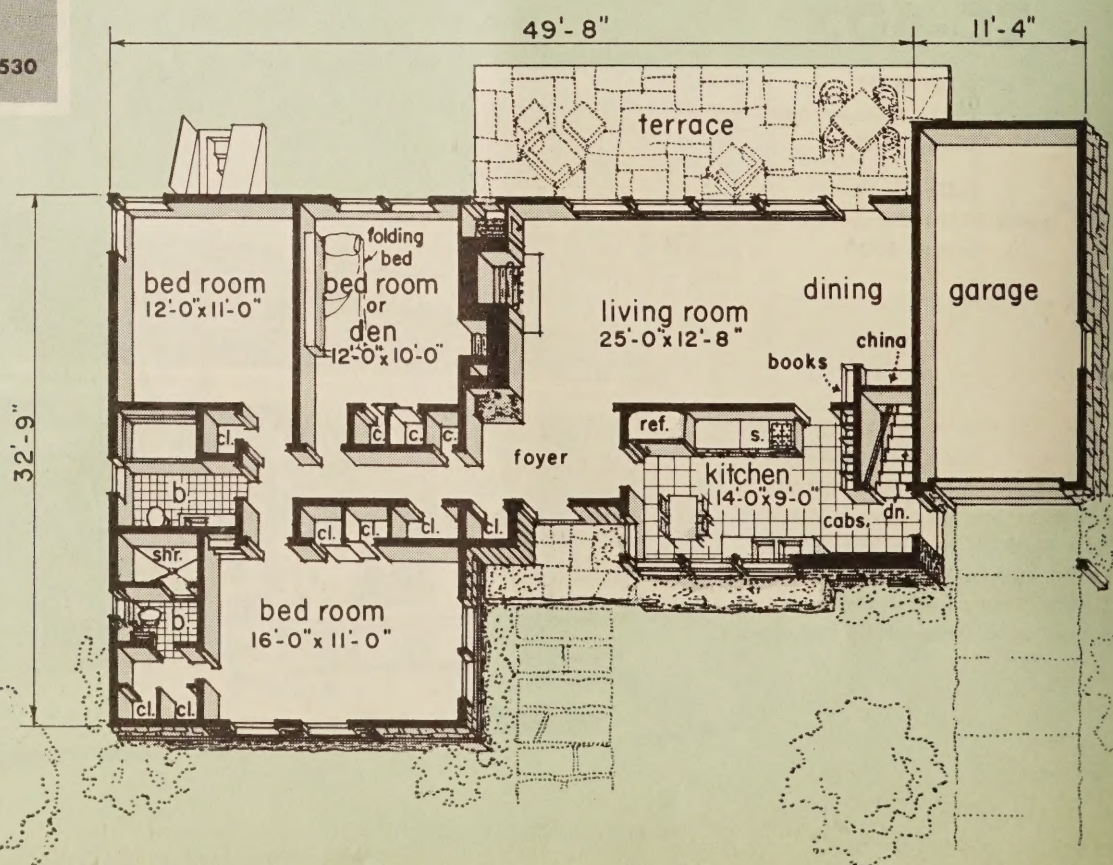
**TC-404**

SIZE: Sq. Ft.

House 1328; Garage 253

SIZE: Cu. Ft.

House 23904; Garage 2530



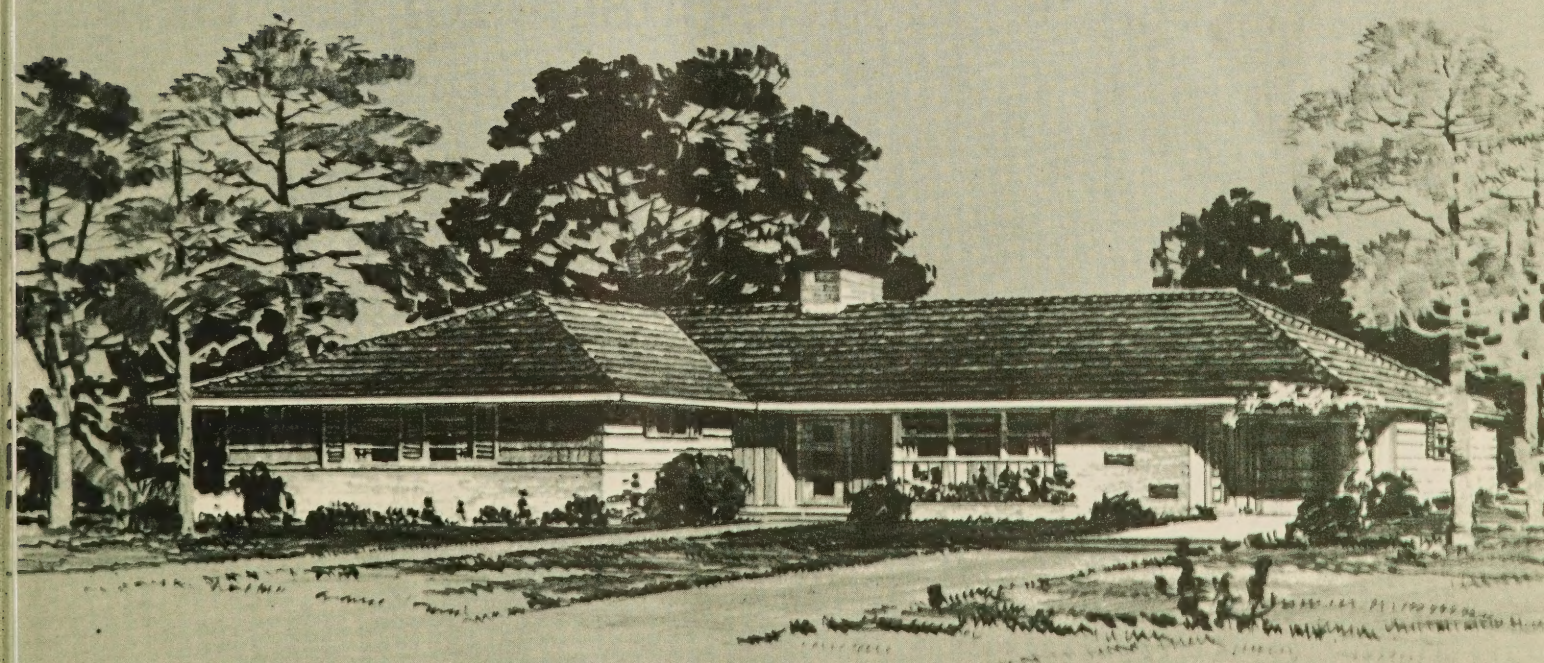


# Quick Change Turns Den into Bedroom with a Fireplace



OVERALL, INSIDE and out, this is a most attractive modern home—low in line, with overhung hip roof, and splendid in arrangement of generous living space. But you must admit that the most exciting feature of this home is the middle inside room at the back. It has everything. As the sketches at the left show, this room is a den or sitting room, with a long row of what appears to be book shelves and cabinets. But, as the insert sketch indicates, the cabinet doors conceal a folding bed. Since this room backs up the living room, the chimney wall permits a fireplace in the bedroom.

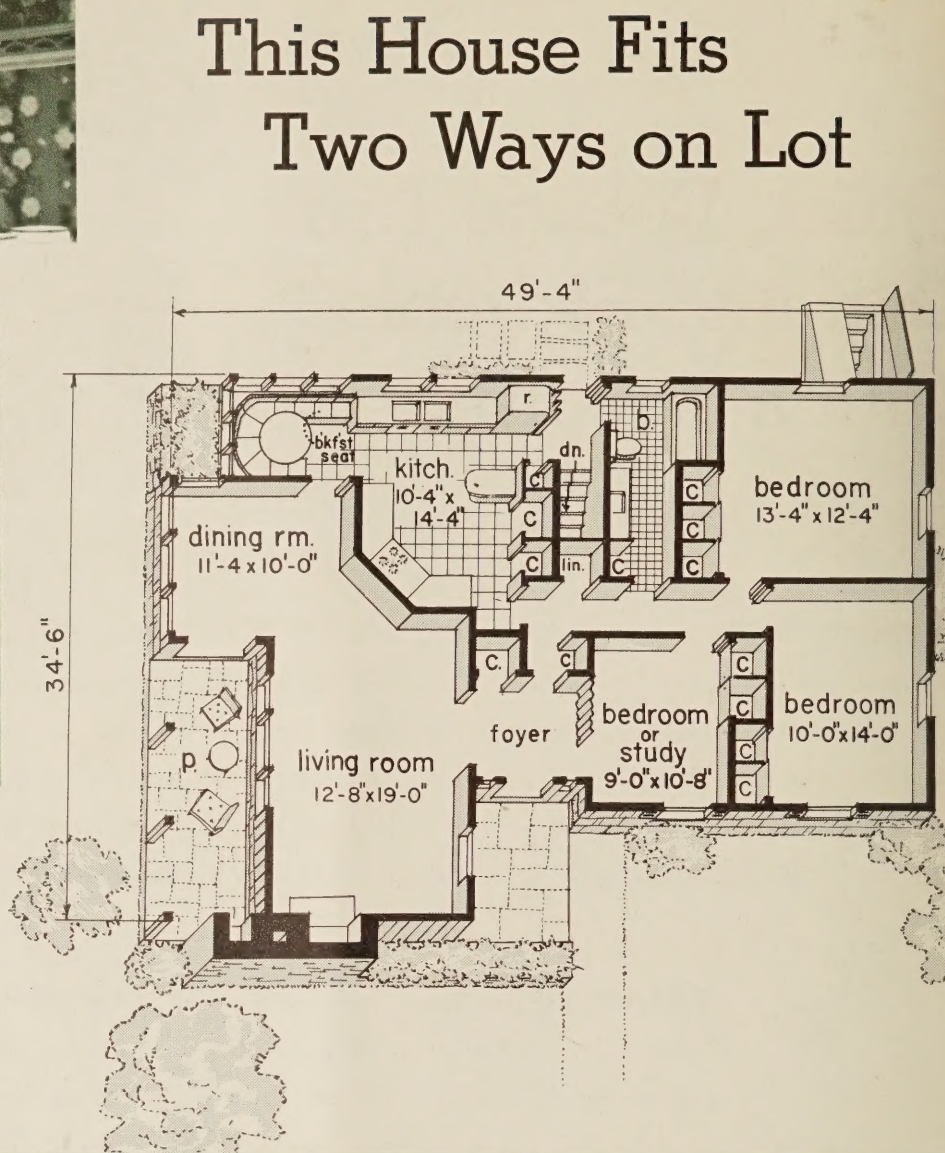
THE LONG LIVING room, with the one wall almost all windows, opens onto a flagstoned terrace. The kitchen is at the front of the house (see photo at top), with a small service foyer opening onto the garage pavement and also leading down to the basement. At the other end of the house, the three bedroom arrangement is served by two baths, one private to the big master room which is beautifully lighted on two sides. Closet space is generous and well-placed; note other storage.





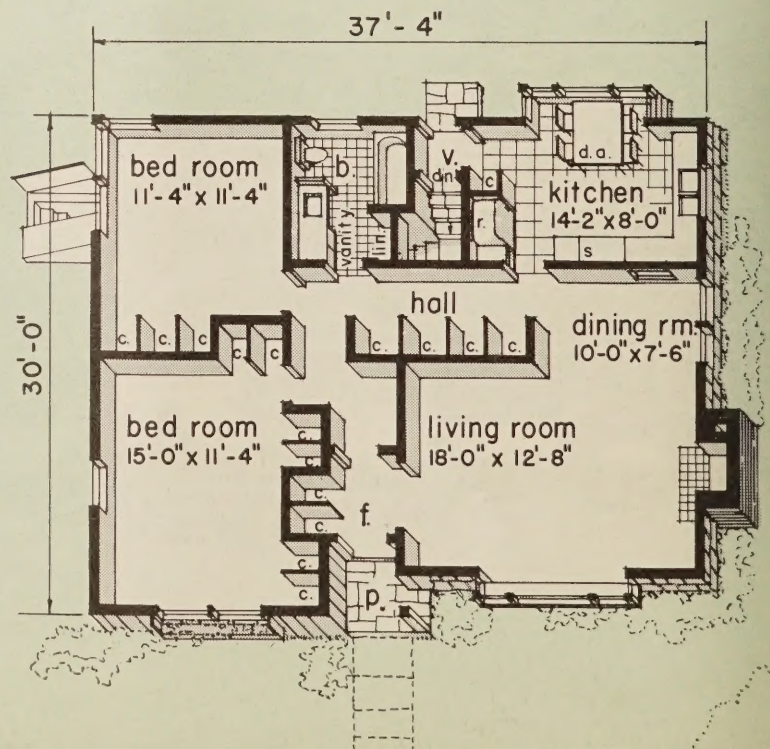


ABOVE IS a corner of one of the bedrooms with the modern double sliding doors on the wardrobe closet. In the plan at right, note how compactly the porch, living room, dining room and kitchen are worked together to get maximum use of very well-lighted space. This porch has a barbecue as an extension outside of the fireplace.

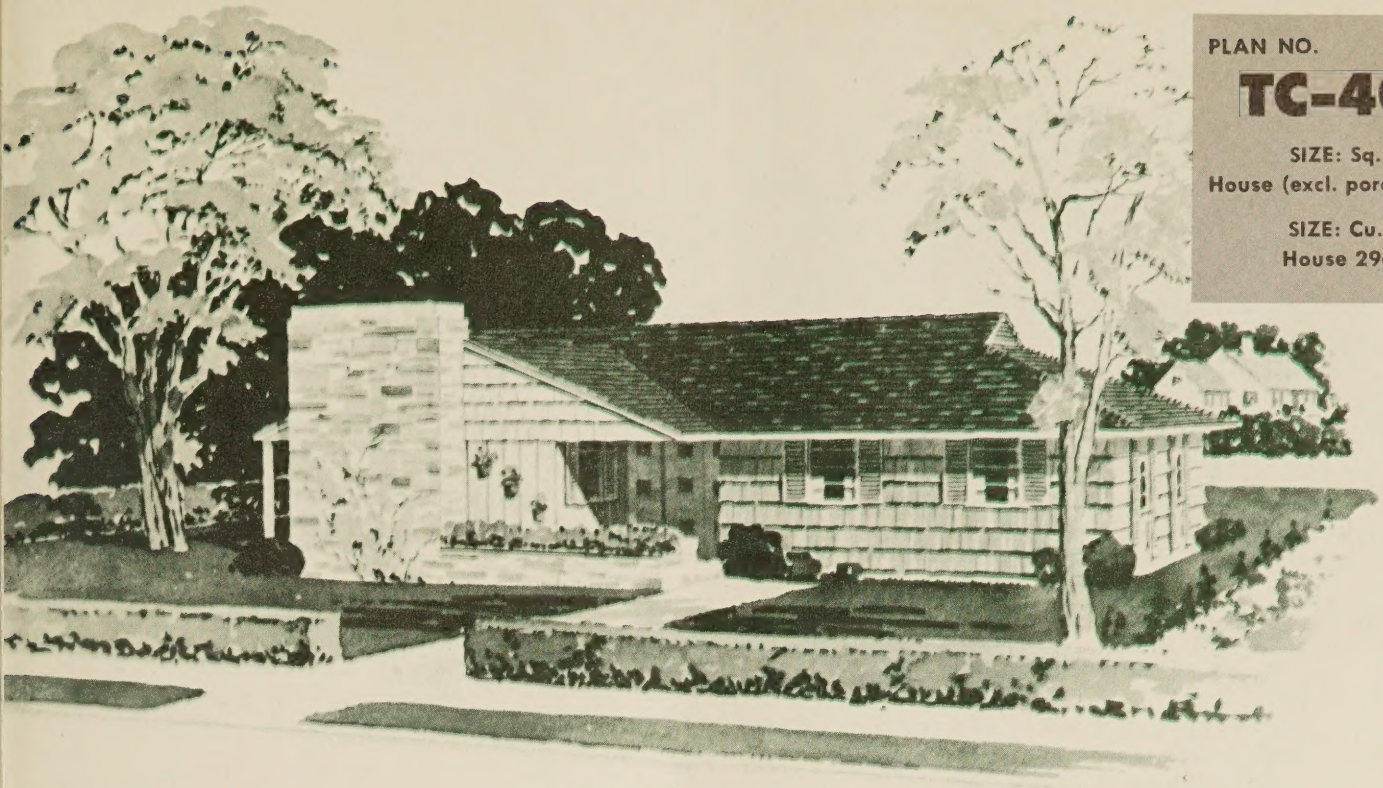


## Ideal Cottage for the Small

IF YOUR FAMILY has stabilized, here is a home of modest size that offers fine living convenience. Two bedrooms are enough for one couple with occasional overnight guests. These bedrooms are big and have nine closets. The bath is well located to serve the bedrooms, the main foyer and the kitchen. The four large hall closets should satisfy almost every requirement for storage. The generous kitchen has work space on three walls with the breakfast bay looking out through windows on three sides. The dining area is small, but it may extend into the living room if necessary. This cottage, neat and compact, should be very inexpensive to build anywhere.







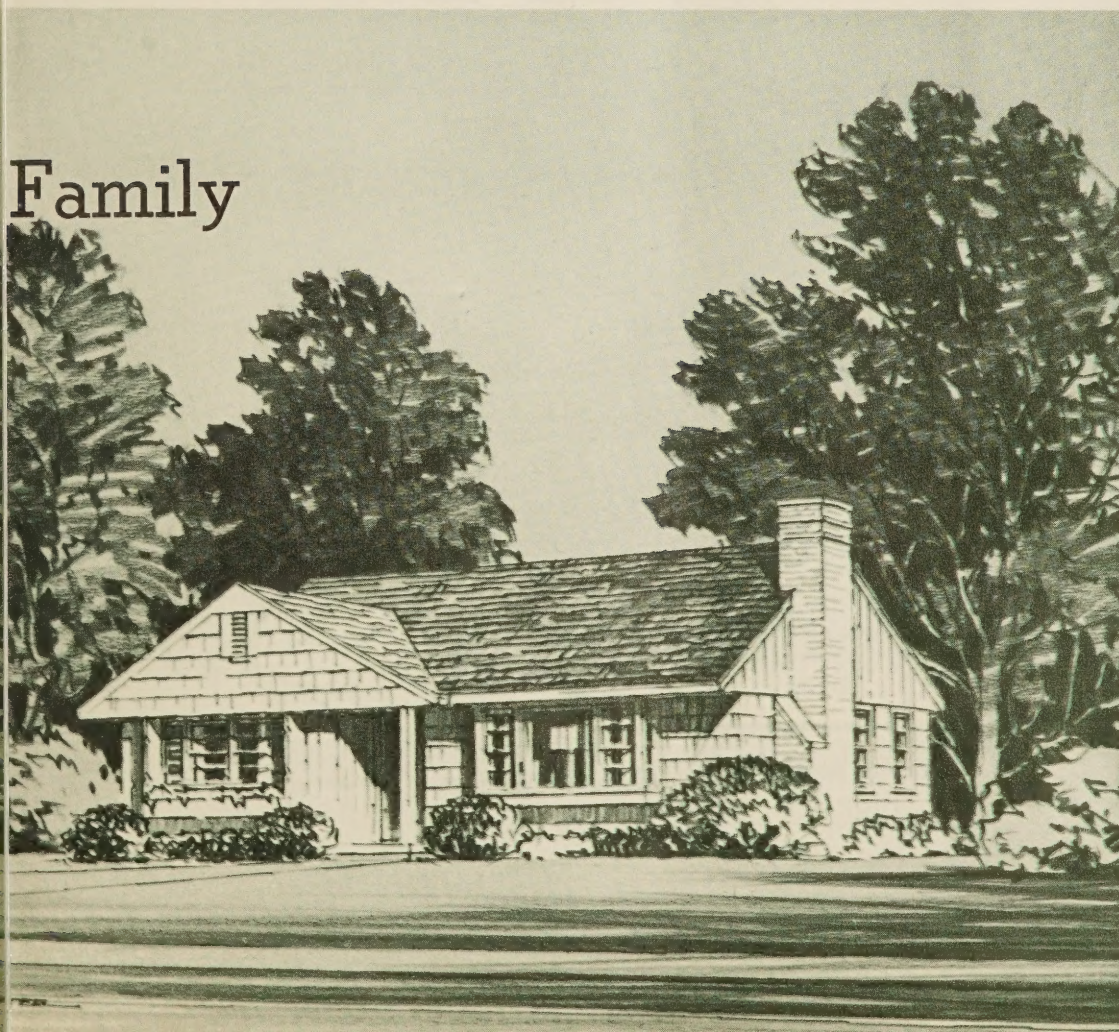
PLAN NO.

**TC-406**

SIZE: Sq. Ft.  
House (excl. porches) 1362

SIZE: Cu. Ft.  
House 29678

WITH AN ATTRACTIVE corner entrance, this compact cottage can fit either way on the lot; and because of its very interesting exterior design, it would be fine from either direction. Entering from the street, the small foyer with two closets opens directly into the four areas of the house—living-dining, kitchen, bath and bedrooms, and the study or side sitting room which may be turned into a bedroom. This room has a folding wall. From the outside, the house is attractively executed in shingles, vertical boards and stone.



Family

THE EXTERIOR of this small home is traditionally styled with simple lines and treatment. The walls are shingled and vertical boards are used in the entrance way and gable ends. The chimney is brick. This home would fit on a medium-sized lot in town or on a section of a country acre.

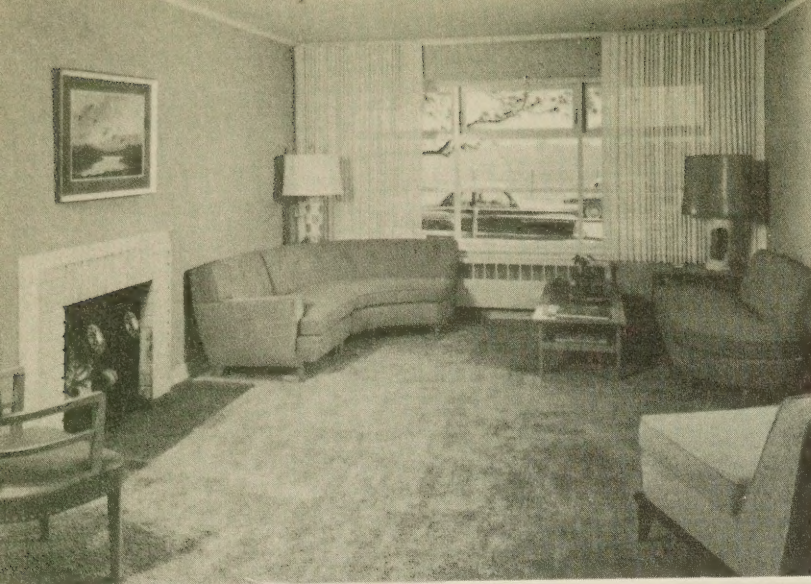
PLAN NO.

**TC-407**

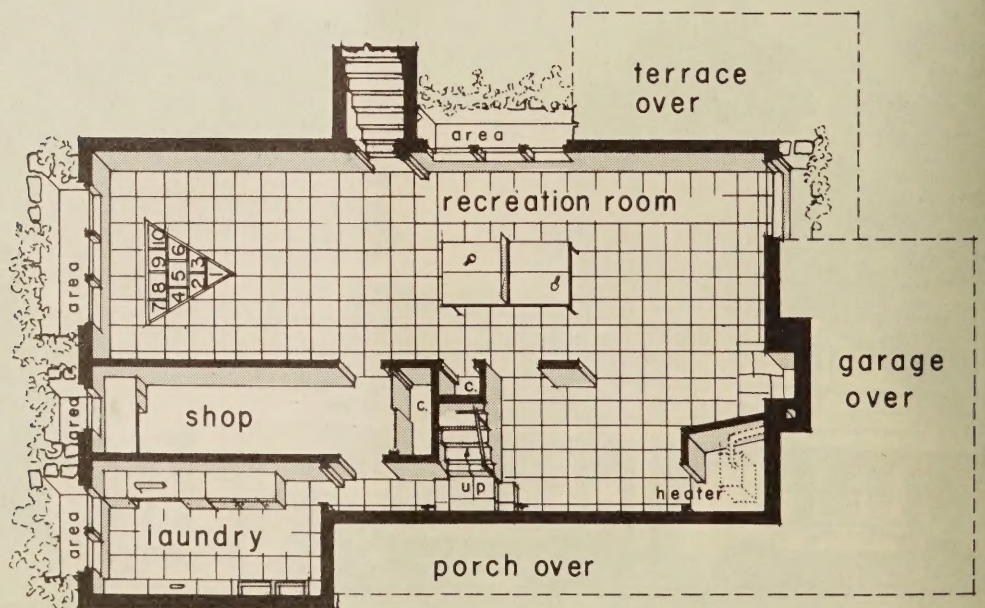
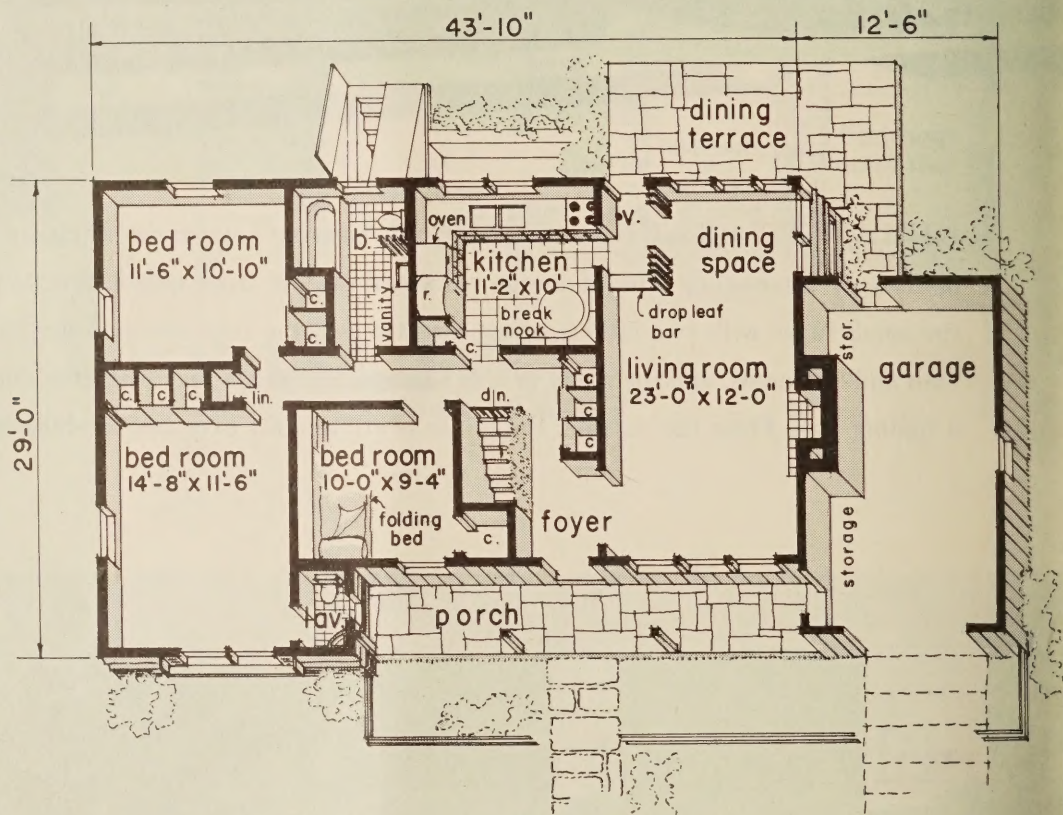
SIZE: Sq. Ft.  
House 1068

SIZE: Cu. Ft.  
House 21671





PHOTOS ABOVE were made in a new home built on this attractive plan. At left is the living room as viewed from the dining space. The picture window occupies almost all the end wall. There is ample space for furniture arrangement. At the right is the end of one of the smaller bedrooms with a closet featuring popular, space-saving sliding doors.



PLAN NO.

**TC-408**

SIZE: Sq. Ft.

House 1116; Porch 112

Garage 238

SIZE: Cu. Ft.

House 20500; Porch 672

Garage 2380



# ACCENTS BETTER

## USE OF BASEMENT

HERE IS A MODERN plan which uses a cross hall to provide good circulation through a most compactly planned five room home. The dining space is part of a long living room, and it has special built-in features such as post screens and a drop leaf bar to give it added utility. The nearly square L-type kitchen includes a corner breakfast nook, and it backs up to the bath for maximum economy in plumbing. A feature of the bath is a vanity table beside the lavatory. The rather large master bedroom has a toilet and lavatory and three closets.

A BULKHEAD outside stairway leads down to the basement which is a very specially planned part of this home. The drawing suggests that the entire area, except for the shop and heater room, be tiled and used for specific utility or recreational purposes. The long (43-plus feet) recreation room with wide lighted areaways at side and both ends, is marked off for shuffleboard; the same area can easily accommodate a ping-pong setup with plenty of space left over.





# The Money You Will Need to Build— How Much? From Where at What Cost?

**I**N CASE it hadn't occurred to you, here's a reassuring thought: the very fact you are reading this book is proof that the joys and satisfactions of home ownership really *are* as rich and numerous as the enthusiasts say. If they weren't so earnest and convincing, you would surely have been discouraged by the perennial gags and cartoons about the trials and tribulations of paying for a home.

Of course you've heard plenty of those stories about the harried, debt-ridden home owner—some unfortunately true, but a good many exaggerated by home owners to impress their friends, or by rent payers to conceal their envy. But you still like to think that, whatever the woe, home-owning would be worth it . . . and you're right.

## A Sound Investment

And you're also right in figuring that sensible, realistic planning can prevent the sort of financial mess that makes those stories so funny—and so sad. It's certainly smart to be forewarned by such tales, but there's no sense in letting

them scare you out of the idea you'd like to own something at the end of the next 10—or 15—or 20 years besides a pile of rent receipts.

Unfortunately, not every family with that very logical longing can sensibly undertake purchase of a home. But *most* can. Any family that (1) has been able to accumulate savings enough for the down payment and (2) has the prospect of regular income can do it . . . IF they take care not to "get in too deep" by assuming mortgage payments that eat up so much of the monthly income there's no comfortable margin left for the other necessities: food, clothing, health, education and recreation.

Before home building prices soared to their present level, the wise advice was not to tackle building a home if the cost of the land, construction and equipment would total more than 2½ times your

annual income. But today tens of thousands of families are managing to pay for bigger and better homes than that because they gauged their ability to pay by figuring the total of necessary monthly and annual payments in relation to their monthly take-home pay. Their experience has proven the soundness of undertaking any home that will take up to *one-fourth* of that monthly income for mortgage payments, taxes, utilities and maintenance.

## The Total Home Cost

But it is certainly good sense to undertake just as heavy monthly mortgage obligations as you can within that formula. The customary mortgage pay-off period is 20 years, but you can save substantially on interest if you can manage the larger monthly payments required by a shorter-term mortgage. For exam-



**TWO OR FOUR  
BEDROOMS**



THE Front Cover home at right would be financed on a different basis than the smaller, five-room one below.



ple, a \$10,000 mortgage obtained at 5% interest *can* be paid off over 20 years with monthly payments of only \$66. But if you can afford to pay \$79.10 monthly, you'll save \$1572 in interest by completing payments in 15 years. Monthly payments of \$106.10 will retire the mortgage in 10 years, with a saving of \$3078 on interest. And if you can swing monthly payments of \$188.80 for five years, the saving would be a whopping \$4482—because your total interest would be \$1,328, compared to \$5,810 on a 20-year mortgage which is repaid at \$66 per month.

#### Include Home Appliances

Another saving to try for is the sort of mortgage (like many insured under FHA) that covers not only your basic heating and plumbing, but also equipment like your range, refrigerator, washer,

freezer, etc. If you have to buy those separately on time, you'll probably have to pay considerably higher interest rates—and have the inconvenience of more monthly payments.

#### Down Payments Vary

But the way to make the biggest saving on finance charges is, obviously, to borrow as little as you can get by with—i.e., make the biggest possible cash down payment. The minimum that you *must* pay in cash to qualify for a mortgage loan varies considerably in relation to the cost, type and location of the house and lot. It will also be dependent, of course, on your own earning power and credit reputation, as well as the regulations of the various kinds of lending institutions from which you can borrow if you haven't any well-heeled relations to make a personal loan. If you deal

with a mortgage company, a bank, an insurance company or a savings and loan association and your loan qualifies for insurance by FHA or the Veterans Administration, you can borrow about half on a house-and-lot costing over \$25,000; up to almost 100% if the cost is under \$5,000.

One final caution belongs in this brief outline of facts you need to figure on when deciding whether you can afford to build that house you want . . . remember, if you make the investment, you should protect it with adequate insurance. These days that means several kinds: against fire damage (not only to the structure, but your furnishings and belongings); against glass breakage if you have expansive windows; against burglary; and against liability claims for injury suffered by hired help, tradespeople, or guests. And surely your own personal policy should provide enough to pay off the mortgage if you aren't around to do that. Today's houses come equipped with plenty of work-savers—but the worry-savers you have to build yourself.

A GOOD SMALL house is wrapped up in this one and a half story plan. It can be built as a single-story, five room home with two bedrooms, with the second story area unfinished at first if building money is short. Later, the space above may be converted into a two bedroom and bath suite with ample storage areas. The photo at the left shows a new home built on this plan in a fast-growing big city suburb. Its pleasing exterior matches the charm of many far more expensive small houses.

**MAJOR PROBLEM** in small homes is traffic circulation, since maximum use of living space cuts down on halls and other connecting areas. Circulation in this home follows foyer, cross hall, kitchen and dining room and living room. Although the latter three rooms are used as part time traffic ways, movement through the home should never become overly congested in any area.

PLAN NO.

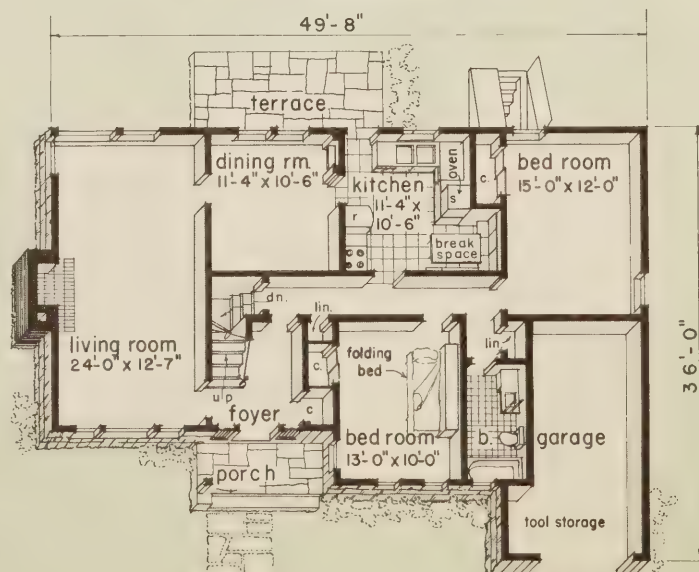
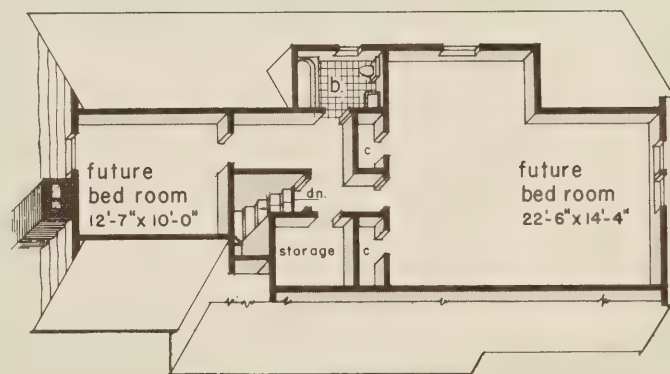
**TC-411**

SIZE: Sq. Ft.

House 1177; Garage 200

SIZE: Cu. Ft.

House 27071; Garage 2000







PLAN NO.

**TC-412**

SIZE: Sq. Ft.

House 1943; Porches 353

Garage 460

SIZE: Cu. Ft.

House 40670; Porches 1953

Garage 5750



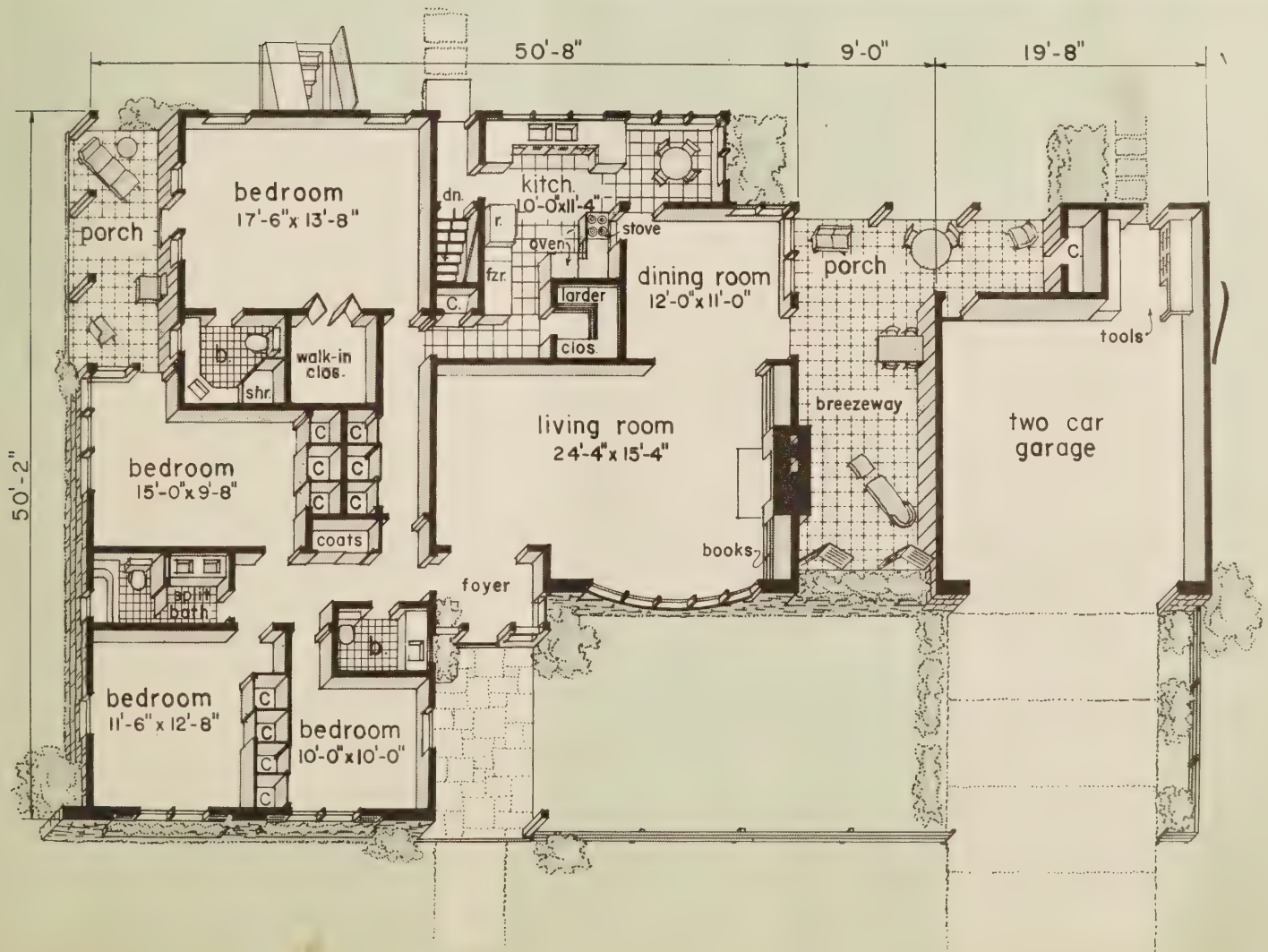
THE SMALL SKETCH above gives some idea of the spaciousness of the breezeway separating the main house and two-car garage. A neat decorative effect is achieved by a shutter screen, running on a track, which permits the area to be open on the street end or partially closed, but always with good ventilation. The porch, opening onto the back yard from the breezeway, has a closet which would be fine for bridge tables, game boards and other outdoor equipment. Back of this is a tool alcove off the garage which also has openings on both ends to give another way out of the garage in case guests are being entertained on the porch. This home is carefully planned throughout for joyful, convenient living.



# L-Shaped Plan for Big Family Living



HERE IS A HOME designed either for a big family or one that lives in the country or suburb and likes weekend guests. There are four bedrooms, ranging in size from a big master's room with private bath and walk-in closet to a small overnight room with two closets and access to either a compartmented bath or a powder room which is just off the foyer. Nice touch here is the side porch, under cover, which may be used by either of the two rear bedrooms. The sleeping area is separated from the living portion of the house for maximum quiet and privacy; but it is accessible from both foyer and kitchen, thus providing excellent circulation all over the place.





# FOUR-LEVEL HOME HAS TEN USEFUL LIVING AREAS

THE SIX SHORT steps shown in the sketch above lead from the entrance foyer to the top or bedroom level of this modern 4-level home. But just before you go up these steps with its attractive stone planting box, there is a clothes closet and lavatory at left for guests. With two full baths in the sleeping area, one of them for the master room alone, this house is ready for entertaining on a grand scale. In addition to very large living room, dining room and kitchen at ground level, this home has a coffee room leading out onto a rear terrace, and a completely enclosed den with barbecue which, in turn, leads out onto another enclosed porch. If necessary, the den could be a combination fifth bedroom.



THE GARAGE, laundry and playroom are located directly under the sleeping level of the house. Playroom area is naturally lighted by high windows overlooking the rear of the house. Plumbing for the laundry uses the same pipes and drains as the powder room directly overhead. The higher wing of the house has vertical boards on the outside; the exterior of the living room area uses a combination of stone and vertical board siding for smart, modern appearance.



THE MAIN BATH, shown at left, has a tub and cabinet-enclosed lavatory. The private bath is fitted with closed shower stall. Locating baths back-to-back calls for a minimum of rough plumbing work.

PLAN NO.

**TC-414**

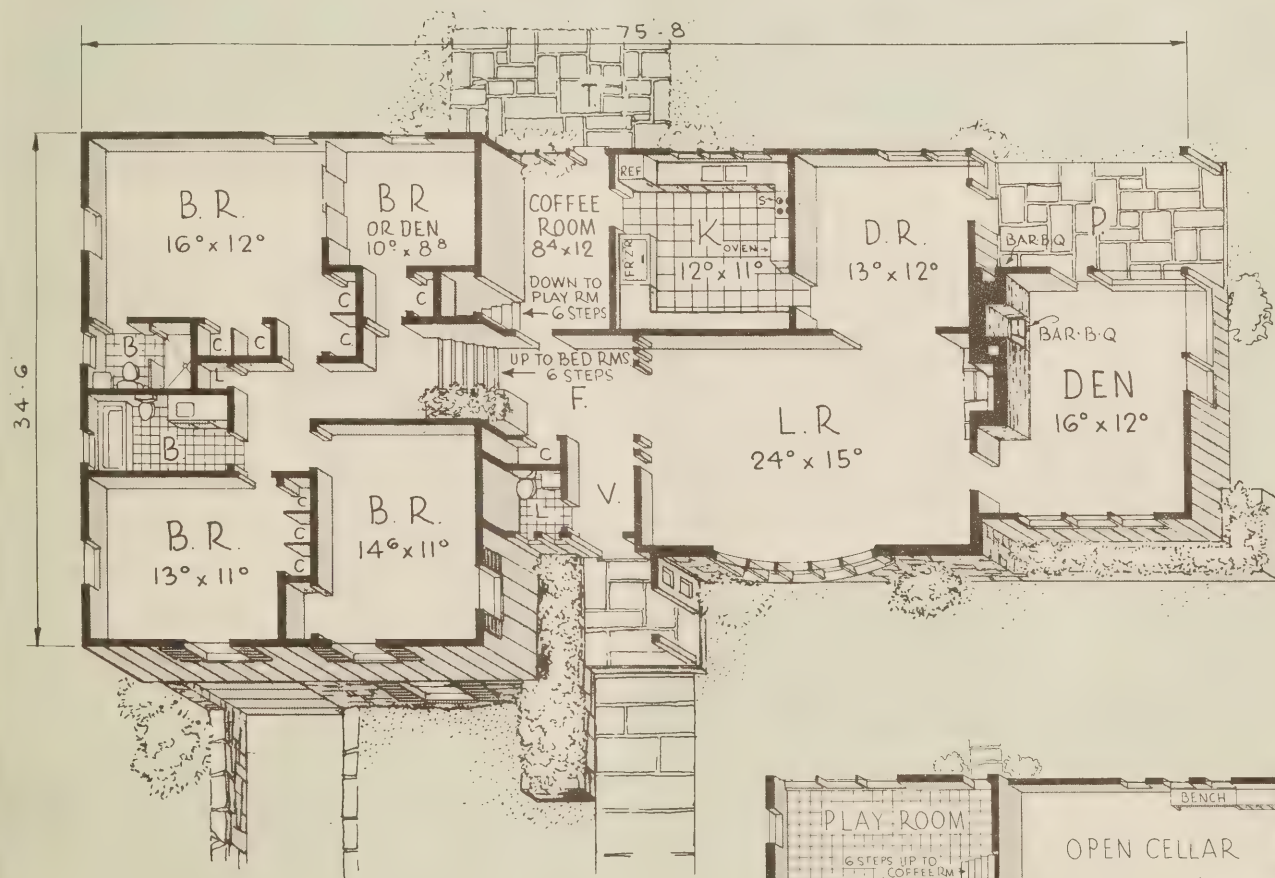
SIZE: Sq. Ft.

House (excl. garage, porch  
and playroom) 2095

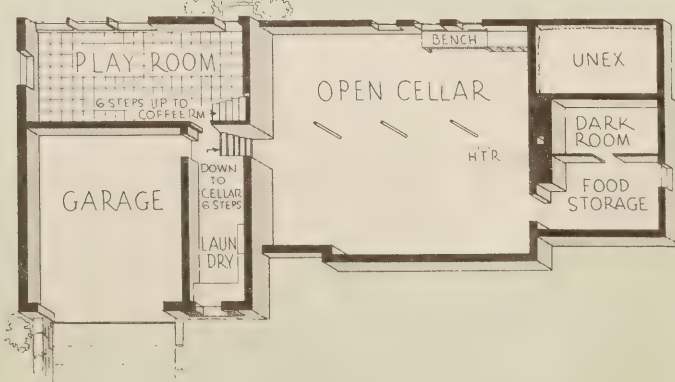
SIZE: Cu. Ft.

House 42544





AT RIGHT is a half-scale plan of the lower two levels of this house. Six steps down from play, garage and laundry level is the utility basement; there is space for darkroom and food storage.





# FRONT COVER HOME

## HAS NOVEL KITCHEN

ALTHOUGH AN exceptionally large Dutch Kitchen provides this fine home with both a formal and an informal living room, there are many other luxury features to warrant its choice as our front cover home. It is long and low and would fit equally on a wide city lot or a wooded corner in the country. Its three comfortable bedrooms are given complete privacy by means of a small, space-saving hall that controls circulation for the whole plan. Entering the front door, a guest may use the clothes closet and the divided main bath as a powder room, and then go either into the main living room or the Dutch Kitchen.

TWO groups can be entertained at one time in this house without disturbing each other. The sliding wall between kitchen and den makes the latter a separate room if desired. Two enviable kitchen features are the large breakfast nook and the pantry with wonderful food storage space. A high stone fireplace in the living room and a wide bow window are located just right for balanced furniture arrangement. The master bedroom has private bath and a large walk-in closet. The designer suggests a combination of cut stone, shingles and wide boards for the exterior walls; outdoor beauty is enjoyed from a nearly square flag-stoned terrace and through plenty of windows looking out in all directions. Fine living here indeed!



HERE ARE FIRST pictures how this splendid place looks when built. Top left view is toward the main fireplace. A wide angle shot from the rear of the Dutch Kitchen includes the front door, the brick fireplace and the food storage end of the working kitchen. Note generous windows in all areas for the rear bedroom part of the bow window and the long living room wall; the bath with lavatory mirrored on all three sides.







PLAN NO.

**TC-417**

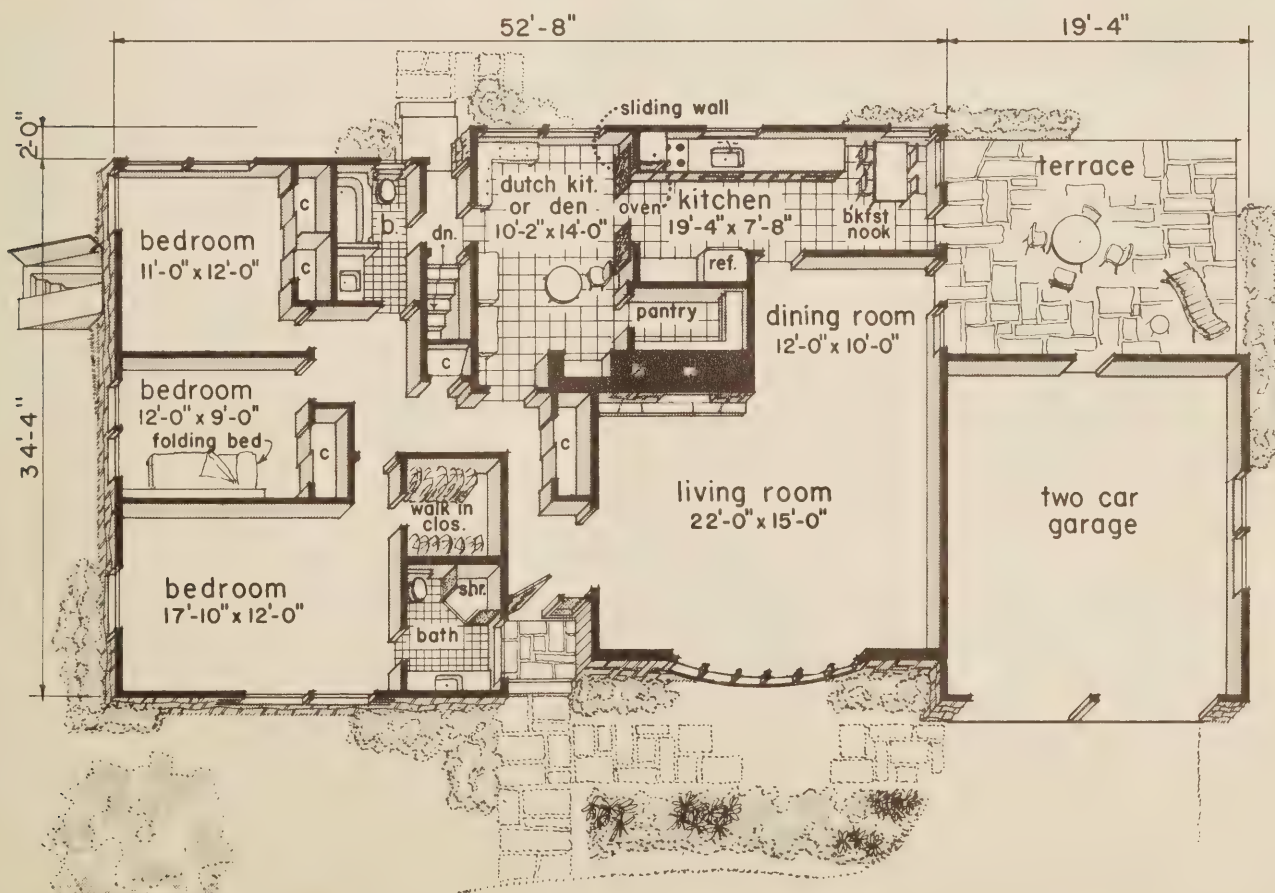
SIZE: Sq. Ft.

House 1800 (excl. terrace)

Garage 429; Total 2229

SIZE: Cu. Ft.

House 37800; Garage 5148







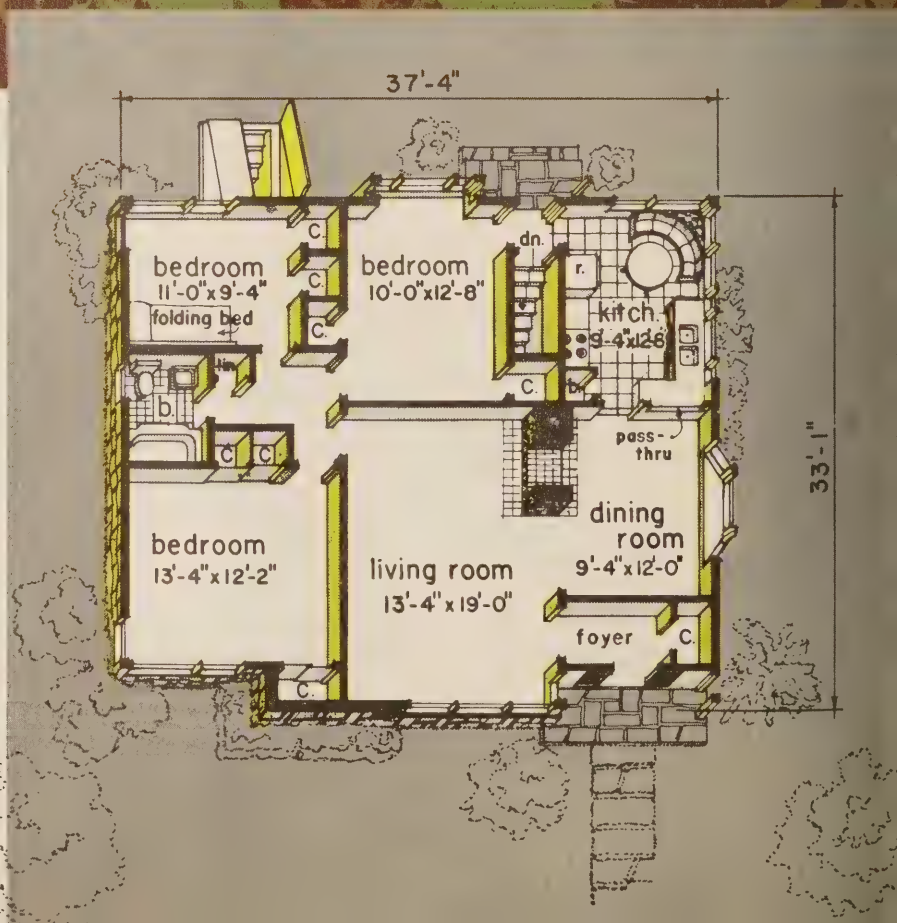
PLAN NO.

**TC-418**

SIZE: Sq. Ft.  
House, 1st Floor 1177

SIZE: Cu. Ft.  
House 16461  
Basement 8627

NOTABLE FEATURES of the plan include ample closet space, wide window openings in all rooms, and a pass-thru server in the dining room.

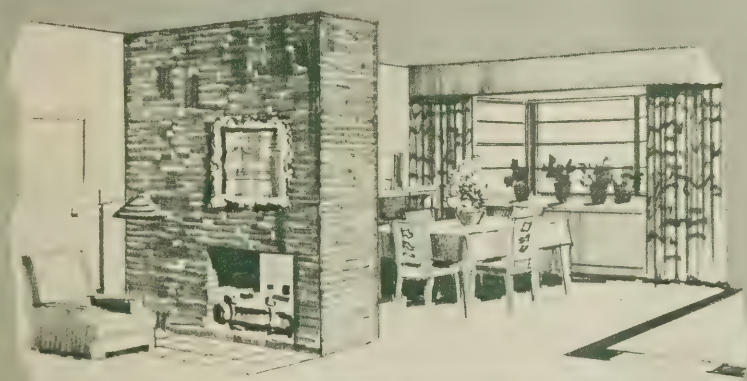




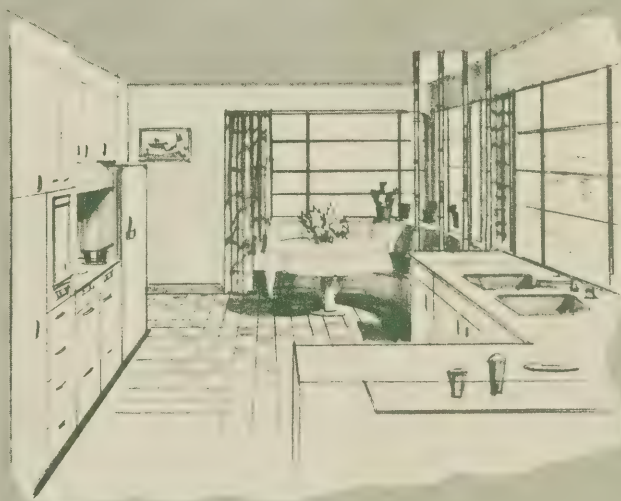
# Compact Planning Gives Six Rooms on One Floor

FROM THE OUTSIDE this modest cottage type home, which could fit on a relatively small lot, looks like a conventional two-bedroom home with possibly a combined living-dining room and kitchen. But inside, by eliminating all halls except a small foyer and an area connecting bedrooms with the bath, the architect has arranged three bedrooms, a very large and unusually convenient kitchen, a long living room and a dining room. The dining area is formed by using a handsome two-way fireplace as a partial room divider.

LACKING CONVENTIONAL halls, circulation is provided by a door from the living room into the sleeping area, and by a second door in the rear middle bedroom which opens onto the rear entrance, kitchen and basement. Thus, it is possible to reach any part of the house easily from either front or back doors. With such a compact layout on a nearly square plan, construction costs should be easily kept within modest budget limits.



HERE IS THE architect's sketch of the two-way fireplace as seen from the living room. Beyond this floor-to-ceiling feature is the dining room.



THIS IS HOW the kitchen would look from the dining room, through door or pass-thru. Note the fine cabinet space at left and two window walls.

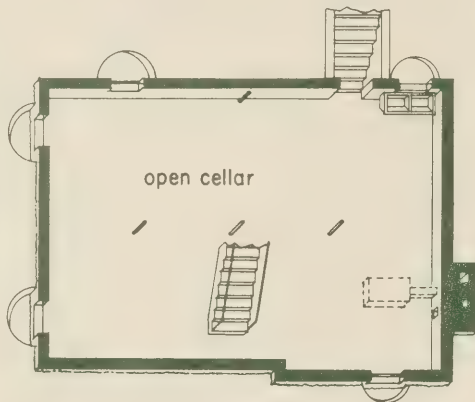


# Why Try to Get Along without All the Extra Living a Basement Offers?

**A** GOOD SLOGAN for today's new homes would be "basements unlimited." There are new horizons to be found below ground, and you don't have to be a natural-born cave dweller to enjoy them.

The damp, dark and musty basements of our childhood are a thing of the past. The same improvements in

**1. The unplanned or hole-in-the-ground basement, as other stock plans might show it—or as you might leave it till you're ready to finish it off. Direct access to outdoors improves basement accessibility and usefulness.**



building materials and techniques that now make it possible to build a warm, dry and structurally sound basementless house do an equally good job in the basement.

We can almost literally turn our concept of a house upside down. Any room or any activity that is ordinarily placed above ground can be just as livable and comfortable in the basement.

As far as basement costs are concerned, the real question is, how can you afford to get along without one?

Basement space is the cheapest space you can build. You can have a full basement for a fraction of what the same amount of space would cost above ground; in other words, the cost of a full basement will buy you just a few

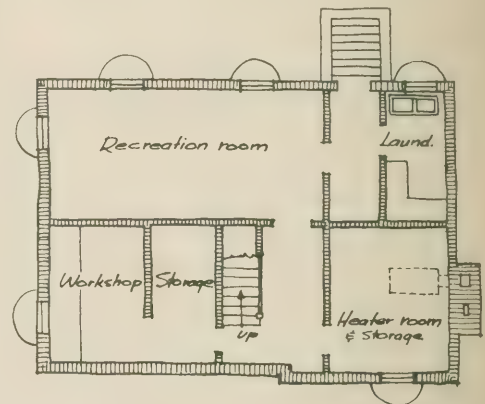
additional square feet of standard, above-ground construction.

The smaller the house, the greater the need for a basement. A ranch house 60 to 80 feet long can offer ample room and efficiency without a basement, but what's good in a house that size doesn't necessarily work out in one only half as large.

A good house, no matter how good its plan, is going to seem cramped at times; there's always some item that won't fit into the most carefully engineered storage area. At times like these, nothing can beat the sheer space to spread out in that a basement offers.

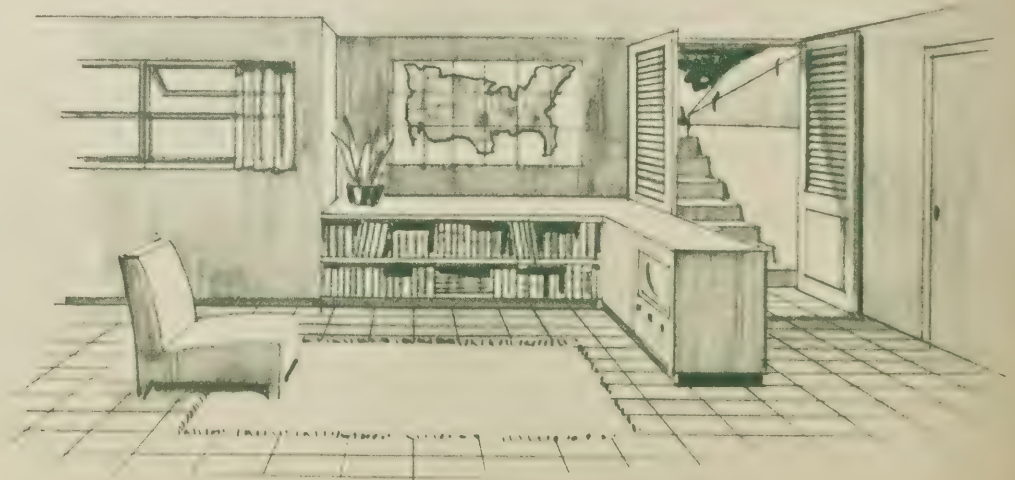
Attractive as the idea of living all on one level is, unless

**2. A major change is addition of area window at rear for better light. Recreation room, laundry, shop and storage areas have been separated, but there is too much space wasted in halls and heater room for good planning.**

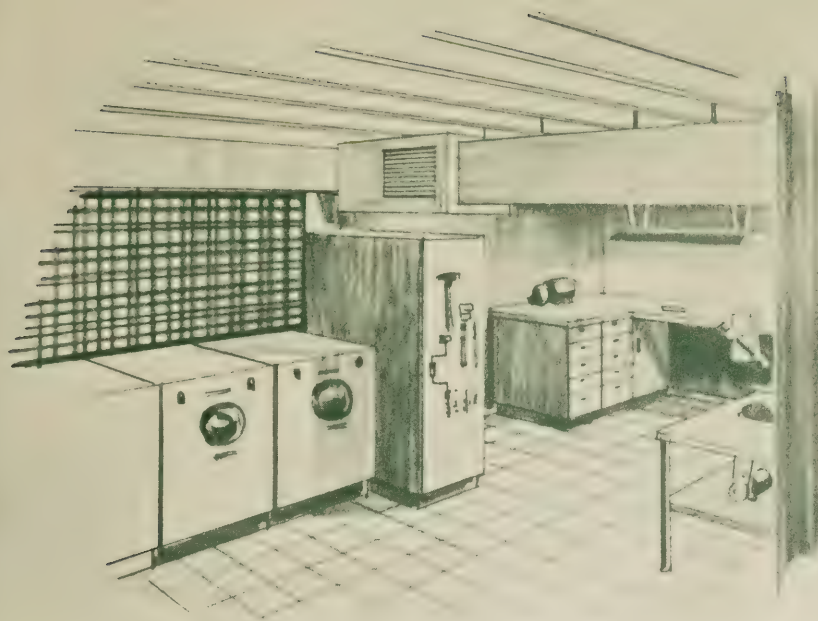


you can afford all the house you'll ever want above grade, or unless you meet such problems as water or rock close below the surface of your building site, you're better off to include a basement in your plans. To eliminate the basement just to cut construction costs is to be "penny wise but pound foolish" with a vengeance.

**4. In the final, most livable and most luxurious variation, this sketch shows how a single large area window replaces two small ones; half-bath becomes compartmented powderroom-lavatory (see bottom plan). Laundry benefits from easy access to both interior and exterior stairways.**







SKETCH AT LEFT illustrates the plan below it, the third in this series of progressive changes and improvements that show good planning is as important in the basement as above grade. This "demonstration" basement is from plan TC-441.

Every inch of basement space and every penny of its cost can return rich dividends of satisfaction for the entire family. According to your needs, it offers additional facilities for entertainment, recreation (including play and hobbies), work and storage.

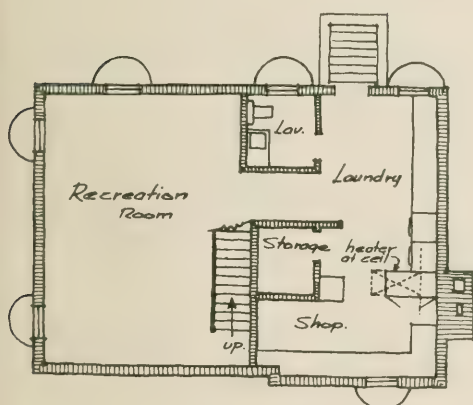
Basements no longer maintain a double standard of comfort, livability or decoration. They're dry and warm. We have artificial lighting that's better diffused and more evenly distributed—and a lot more reliable—than the

room." It may be a real family use-and-recreation area, with room for all the clutter, space-wasting hobbies of every individual member. For other families, it might be most desirable as a place to entertain large groups of people with a considerable degree of formality.

What use you make of your basement depends on your needs, not on any traditional ideas of what is suitable.

Another nice thing about a basement—because it's a somewhat isolated area, you can simply leave it as is when you first build, for future finishing as funds permit or needs develop. And you don't have to leave it completely unfinished, either. There are a number of easy ways to dress up a basement that are inexpensive enough to be temporary expedients and good enough to be permanent fixtures.

You might consider borrowing one of the "see-through" partition ideas frequently used in store displays—chicken wire or tightly strung twine in a wood frame, for example. Or, for greater flexibility of use, there are inexpensive, movable room dividers made of woven strips of bamboo or the sturdier basswood. You may prefer the type with horizontal strips that rolls up like a porch shade, or the vertical strips that slide in an overhead track. Both of them, incidentally, also make handsome low-cost wall coverings. If planned properly, the uses of your basement will be found almost unlimited.

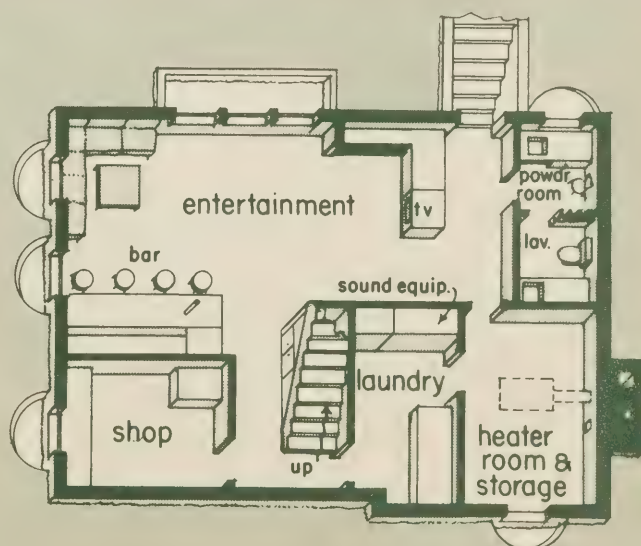


**3. Improvements** here include addition of a half-bath. Laundry gains work space by being opened up; heater is suspended from overhead joists (as shown in sketch above) to add more space to the workshop.

temperamental sun. Though if it's a sunlit basement you want, the size and number of basement windows are no longer rigidly limited by structural considerations. And finally, almost every sort of wall and floor finish that can be used above ground level can now be successfully installed below grade.

You can put your basement to whatever use will be most helpful to your family. For instance, for a guest bedroom, as is suggested in one plan in this book, the basement location offers far more spaciousness and privacy for the guest, and less disruption of the family's normal living habits, than a dual-purpose guest room on the main floor.

A basement living area doesn't have to be a "rumpus







AT LEFT IS a photograph made in the front corner bedroom of a home built on this plan. Here a full-sized bed and two night tables are located along one wall, leaving space around the corner window for one or more chairs. One other wall of this room contains four wardrobe closets.

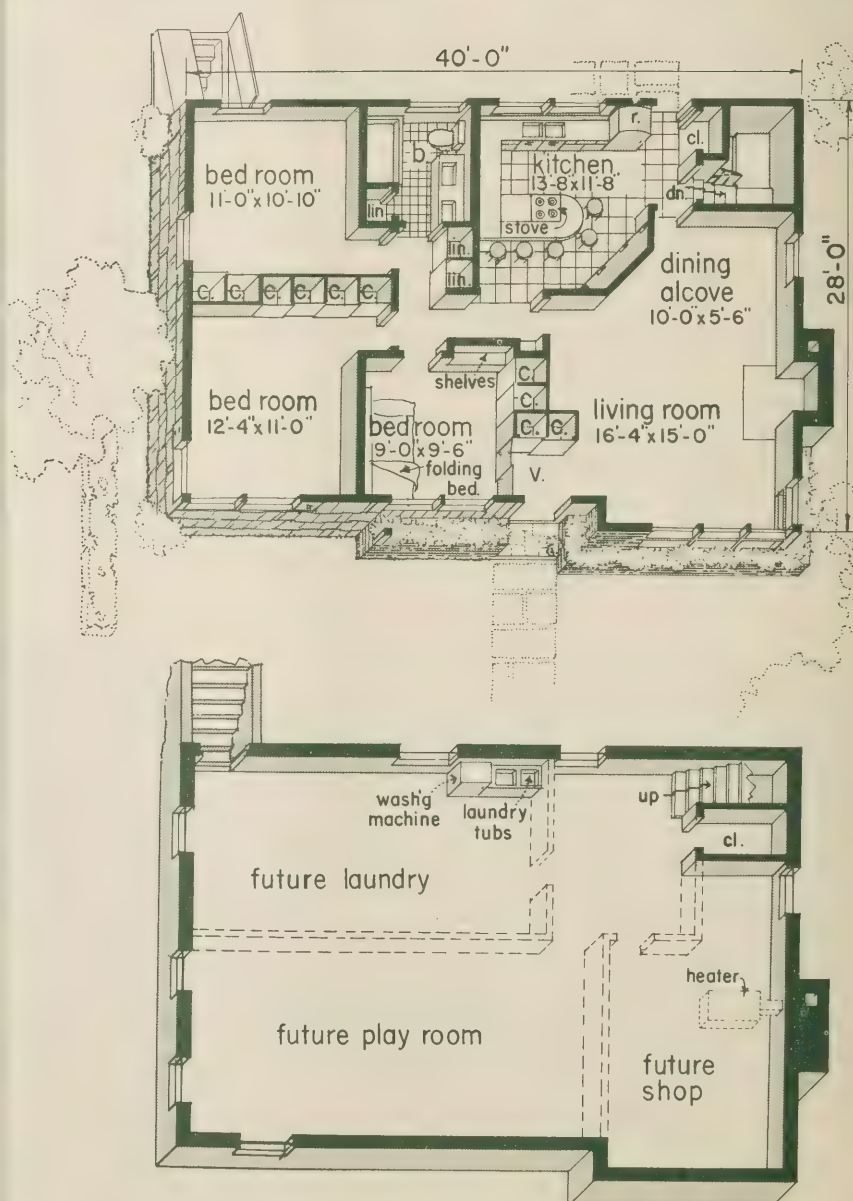
PLAN NO.

**TC-422**

SIZE: Sq. Ft.  
House 1077

SIZE: Cu. Ft.  
House (incl. bsmt.) 21006

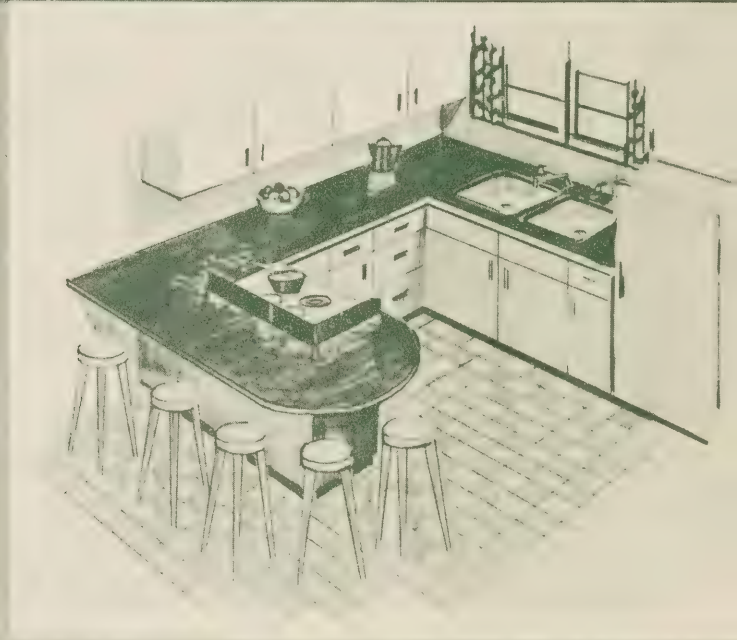
THE BASEMENT plan at right shows how cellar areas may be turned, at a later date, into several useful rooms. Four light partitions divide this basement into laundry with good space for hanging clothes to dry, a good play room and a shop. The laundry appliances are located directly under the kitchen and bath and all use the same plumbing stacks and pipes for economy. The furnace is beside the chimney stack. There are two large storage areas, too. The basement feature story appearing on the two preceding pages will give you additional suggestions on how to make this one both most attractive and very useful.







## This Plan Gets Maximum Use out of Small Space

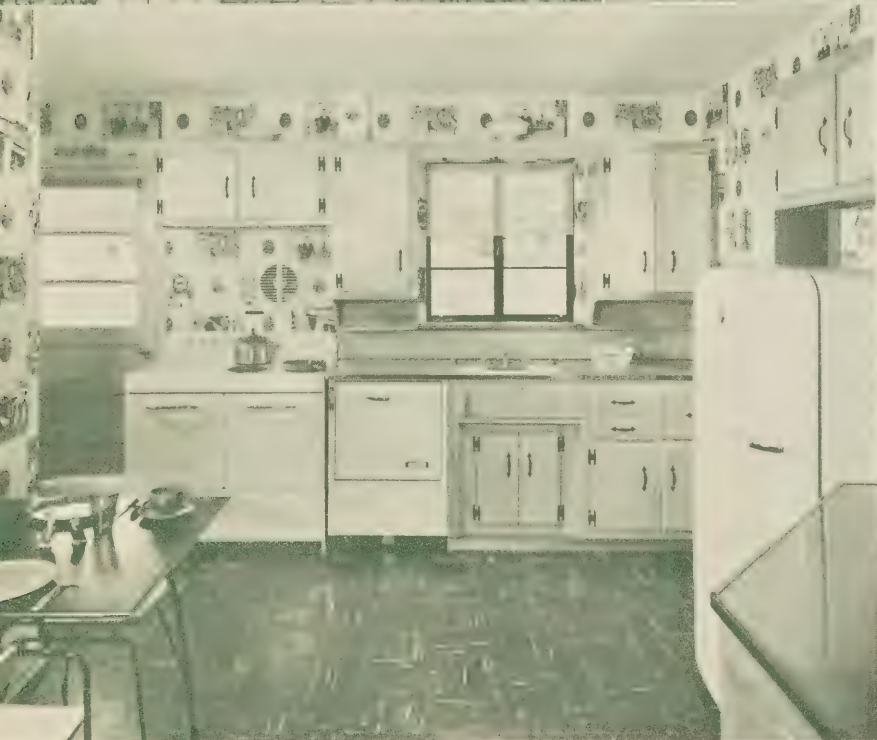


FOR A HOME built on a simple 28 by 40 foot rectangle, this plan offers almost everything a small family could desire in comfortable living space and modern conveniences. It has three bedrooms, two of them separated by a six-closet storage wall. The third bedroom, which could also be used as a den, opens onto the entrance hall as well as the short cross hall, thus giving added circulation advantages. The kitchen is not large, but it has everything including a five-place breakfast bar which at other times is part of a fine work surface. This attractive feature is shown in the sketch above. The living and dining areas occupy the same long, well-illuminated room, and both share the fireplace. Basement is accessible from kitchen, dining room, outdoors.





IT'S WONDERFUL and refreshing to look at plans so new that every line and wall and arrangement is strange and exciting. But it is also comforting to see a plan that has been built successful and to see how some people are living in a home which you might want to build yourself. On this page are photos made in a new home built on the plan at right. At top you are looking from the rear, right through the breezeway toward the louvered screen that hides barbecue parties and lounging from the street. The middle picture looks from the foyer into the kitchen. At bottom, the dining end of the living area has good light and view through modern corner windows; the door to kitchen appears at left side.



## RANCH LOOK AND LIVING: ECONOMICAL SQUARE PLAN

PLAN NO.

**TC-424**

SIZE: Sq. Ft.

House 1321; Outdr. L.R. 114

SIZE: Cu. Ft.

House Total 26155



AS THE PHOTOS and architect's rendering suggest, this house can be built with wood frame and dark shingles or shakes over most of the walls. At the front, under the living room window and breezeway louver, some red brick would be nice. Keep roof line and planting low for the best appearance if you want the ranch house look.







# Fine Living on Four Levels

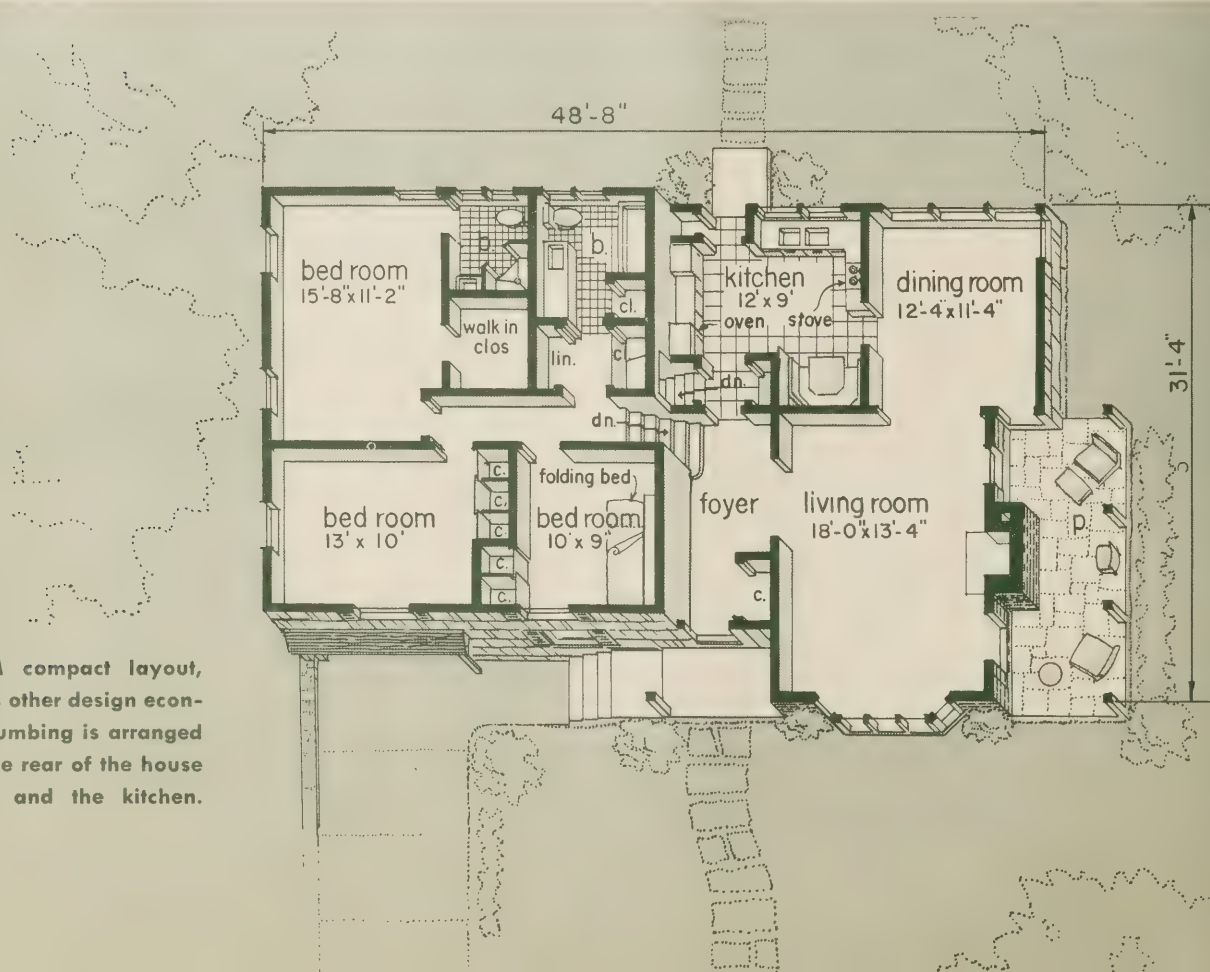
TRI-LEVEL HOUSES are popular because they completely separate functional areas of a house without a lot of stair climbing, and because they use a minimum of space on a lot. This plan goes a few steps farther, providing four levels, none of them more than six stair treads up or down. These stairs are so fortunately located that the top or bedroom level, and the bottom or shop and utility area, are only a few seconds apart. The home is entered at ground level with guest closet in the foyer. A few steps up is the main bath and more closets and linen storage. This nearly square sleeping area has a large master bedroom and two medium-sized sleeping rooms.

Straight ahead from the foyer a small hall leads to the kitchen or down a few steps to the recreation room, garage and laundry. This level has plenty of

storage space, too. At the right of the foyer, a wide opening leads into the long living-dining room which has broad windows at both ends. Two doors lead to a covered porch. The fourth level basement is reached by steps down from the laundry. Here is a work or hobby shop, with high windows for natural light, and a boiler room. There is unassigned space here suitable for many other uses.

So much usable space is accommodated on relatively small ground area because various parts of the house are connected by low stairways instead of long halls. This home may be finished outside with brick and shingles. A level lot, raised slightly in front by fill from the basement excavation, can provide the three ground levels needed for the front entrance, the garage doors and the rear basement windows.

**ASIDE FROM compact layout, this home has other design economies. All plumbing is arranged in a line at the rear of the house—two baths and the kitchen.**







PLAN NO.

**TC-427**

SIZE: Sq. Ft.

House 1320; Porch 128

SIZE: Cu. Ft.

House 27270; Porch 1280

FULL EXCAVATION for this house is limited to the shop and heater room area. Earth removed is used to build up the front yard. A large measure of economy is realized by including the garage within the walls of the house.



A single-story house with a red shingled gable end and white brickwork, set against a backdrop of large trees. The house has a light blue roof and a small dormer. The front yard is green and well-maintained. A dark blue car is parked on the right side of the house.

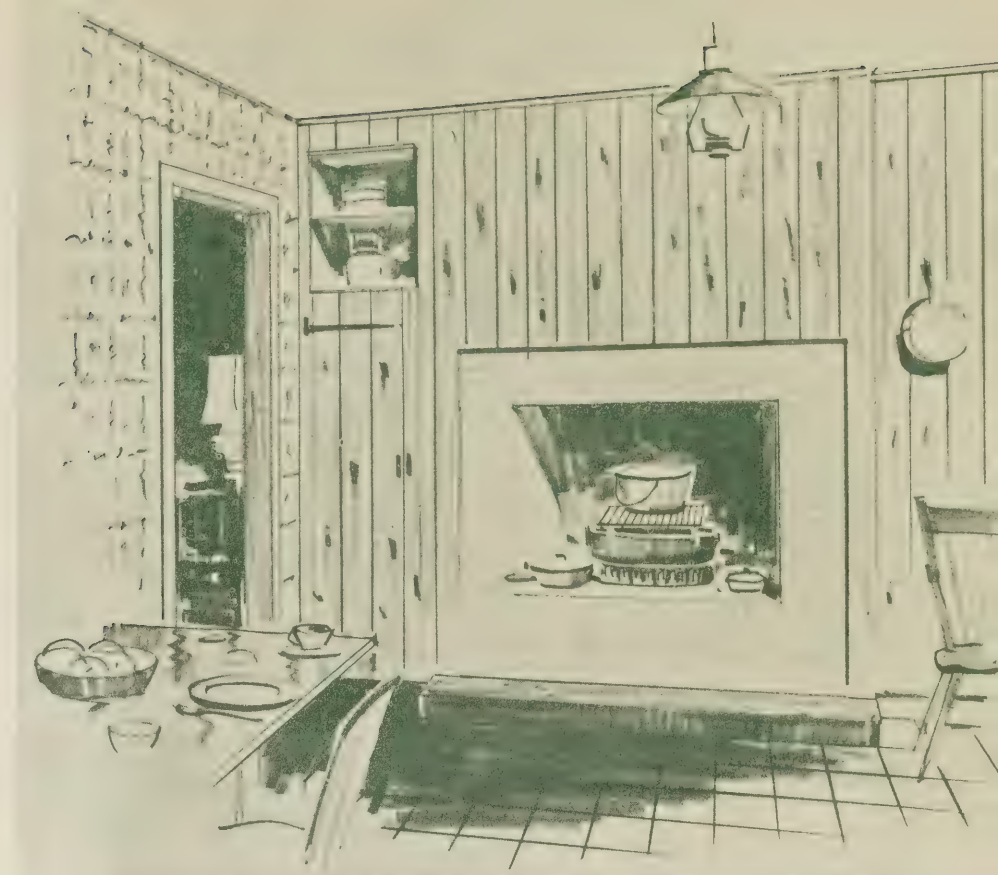
# Popular and Colorful

COMMON AND comparatively inexpensive building materials, cleverly combined and brilliantly colored with stains and paints give unusual charm to this home. In the main the exterior walls are shingles, stained a dark maroon. Part of the front wall has common brick painted white as are the vertical boards in the front gable end. Simple, tasteful planting makes this a most attractive home on any lot and in any setting—either town or country.

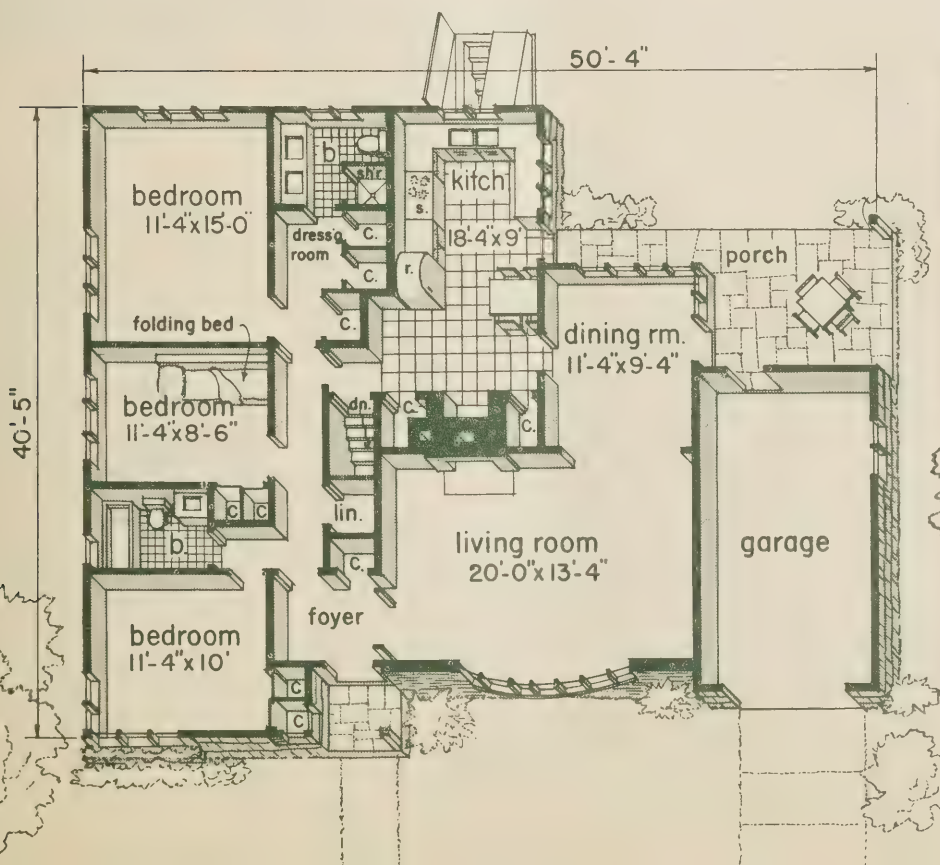


# Design

AT RIGHT is an Early American treatment of the Dutch sitting room end of the big kitchen. This fireplace, backing up the one in the living room, is faced with large white painted bricks. The surrounding wall is paneled with knotty pine. This is a fine place for after-the-show snacking and talking.



HERE IS ONE of the most popular house plans turned out since the war. It has been built many times, and with so few basic changes of the original layout that it must have something that appeals to everyone. The two-sided fireplace, serving both the living room and the Dutch Kitchen, is the axis of a plan offering perfect circulation. Both bathrooms, according to the way doors are opened or closed, may be private to two bedrooms or open to the entire household from the main hall. All rooms are extravagantly light and most of them have cross ventilation. Both the front entrance and the rear porch are covered.



PLAN NO.

**TC-429**

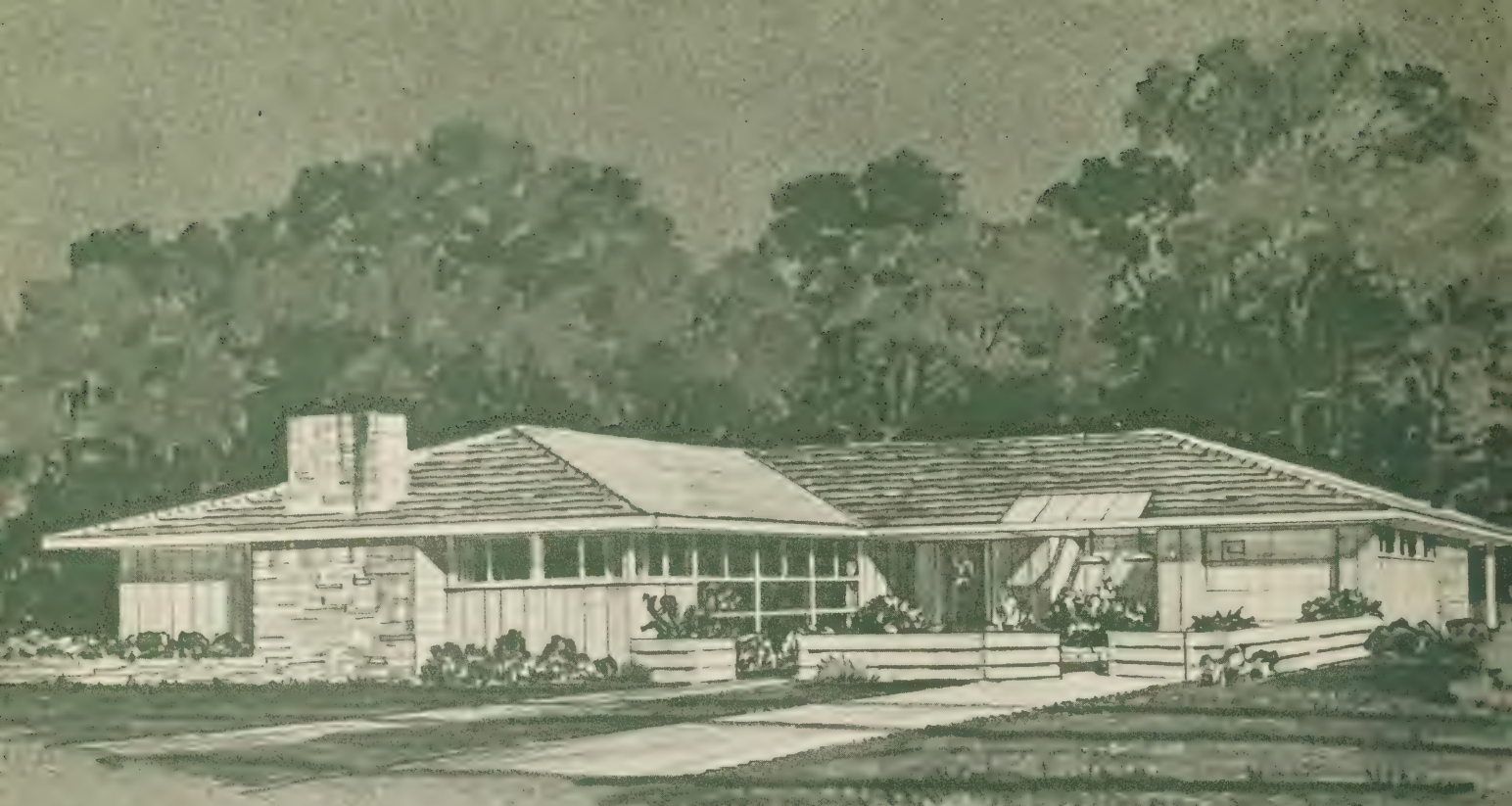
SIZE: Sq. Ft.

House 1361; Porches 176  
Garage 226; Total 1763

SIZE: Cu. Ft.

House 28977; Porches 1792  
Garage 2486; Total 33255





## QUIET FOR SLEEPING IS ASSURED HERE

LOCATING SLEEPING quarters at the back of the house, away from street noises and late-night conversation in the living room, is a popular design feature in many current homes. This plan sharply isolates the three bedrooms in a line along the back of the house by locating the bath, hall and foyer between them and the kitchen-living-dining areas. The main bath, however, is close to the two smaller bedrooms. The big bedroom has its own bath with a shower stall. The large, L-shaped living and dining room has a broad fireplace, and right beside it is a barbecue pit which can be worked from the dining room. Design of the house is frankly contemporary.

PLAN NO.

# TC-430

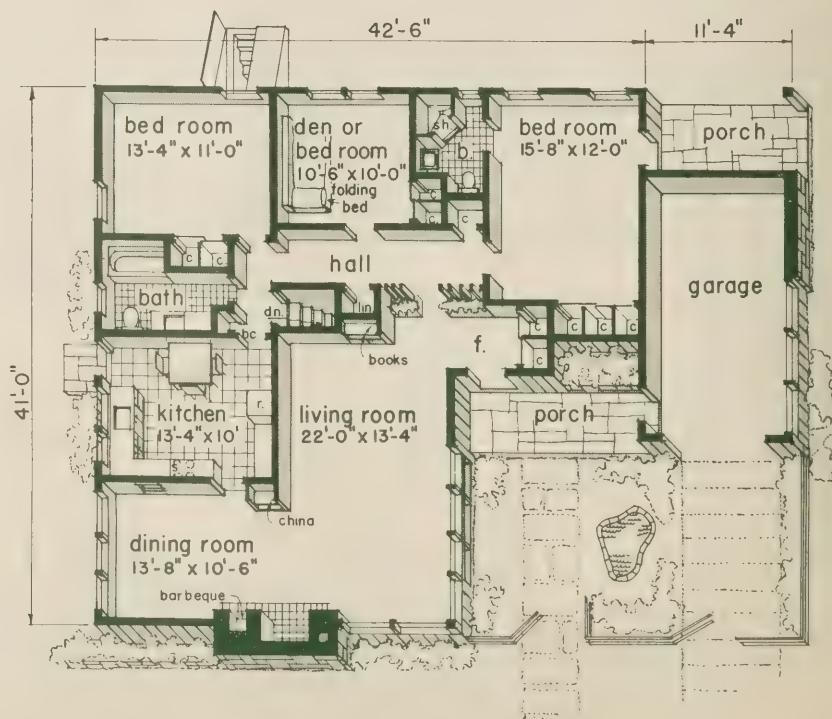
SIZE: Sq. Ft.

House 1467; Garage 234  
Porches 168

SIZE: Cu. Ft.

House 26406; Garage 2574  
Porches 1232

THE LARGE window in the living room is a floor-to-ceiling window wall. Most of the other windows, following the trend in modern single-story home design, are high in the wall, permitting ample light for all rooms with complete privacy when viewed from outside.





# SOME THINGS YOU SHOULD KNOW

## ABOUT HOME CONSTRUCTION

IT IS STILL TRUE that there is nothing a man buys and uses for himself—except possibly a 60-foot yacht—that is as complex, requires so much planning, so many kinds of material, and so many different skills to complete, as a house.

This is one reason why building a home is never inexpensive, no matter what the value of the dollar is. But no matter what you have to pay for a house, it can be cheaply built or well built, and at about the same price to start with; and the well built house will cost far less in the end.

Before you build a house, therefore, it would be wise to know something about what you are going to get.

There are three general types of construction used for modern homes: frame construction, which comprises a variety of lumber units; solid masonry, which may be stone, brick or concrete or a combination of these materials; and

masonry veneer which is a wood frame structure with a thin skin of any type of masonry over the exterior walls.

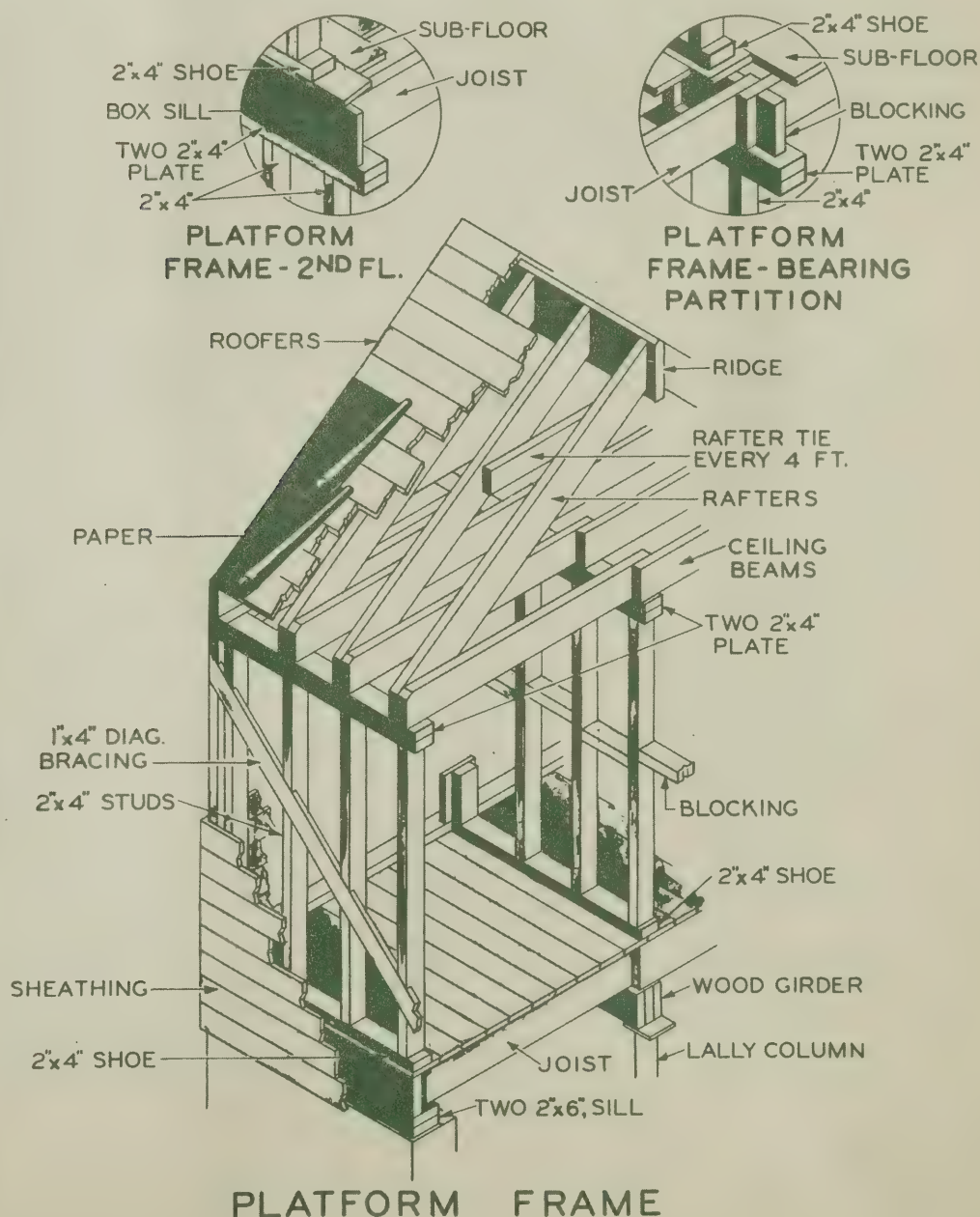
Any one of these three types of homes can be built to give great beauty, comfort, and long use. Your choice of any of them will depend on architectural preferences. Solid masonry and veneer may or may not cost more initially.

Whatever type of construction you choose, it is important to have a good, solid, waterproof foundation. If your plan calls for a basement, the foundation walls should be poured concrete or concrete masonry with an exterior treatment of mastic paint or cement-sand parging to assure watertightness. If there is no basement, the concrete foundations should be carried down below the frost line so that freezing and thawing of ground water will not effect the stability of the walls.

*(continued on next page)*

THE DETAILS in the sketch at right show how the various units of standard sized lumber are combined to produce a sound, rigid frame. It is possible to build a platform frame with less material than this; but the double plates and sills which support floor and roof members are the best assurance that you will have a rigid structure.

MOST ESSENTIAL in frame wall construction is the use of diagonal bracing of the studs. The stud should also be toe-nailed into a 2x4 shoe. Rough flooring should be nailed tightly to the joists, and if this flooring is laid diagonally it will stiffen the whole floor and prevent sag and creaking. Building paper should be applied between sheathing and finished siding.





## CONSTRUCTION—(Continued)

There are several ways to construct the first floor of any house. It may be carried on wood joists resting on sill plates on top of the foundation. Or it may be light steel or concrete joists over which a poured concrete floor may be placed. This latter type of floor has a high safety rating for fire insurance. A concrete slab floor, of course, may be placed on the ground if sufficient protection is given it to prevent damage from ground water and frost heaving.

On these pages you may study most of the details essential for a well built frame house. You should note particularly how all vertical and horizontal members are made rigid by bracing: The studs are secured by diagonal bracing and by horizontal blocking. Rafters are tied together by cross braces. Veneer construction is essentially the same, including exterior wall sheathing and waterproof paper; but instead of board or shingle siding, a single width of masonry is carried up from the foundation, leaving a narrow space between the masonry and the sheathing to drain any moisture in the wall.

Solid masonry should be full widths of stone or concrete,

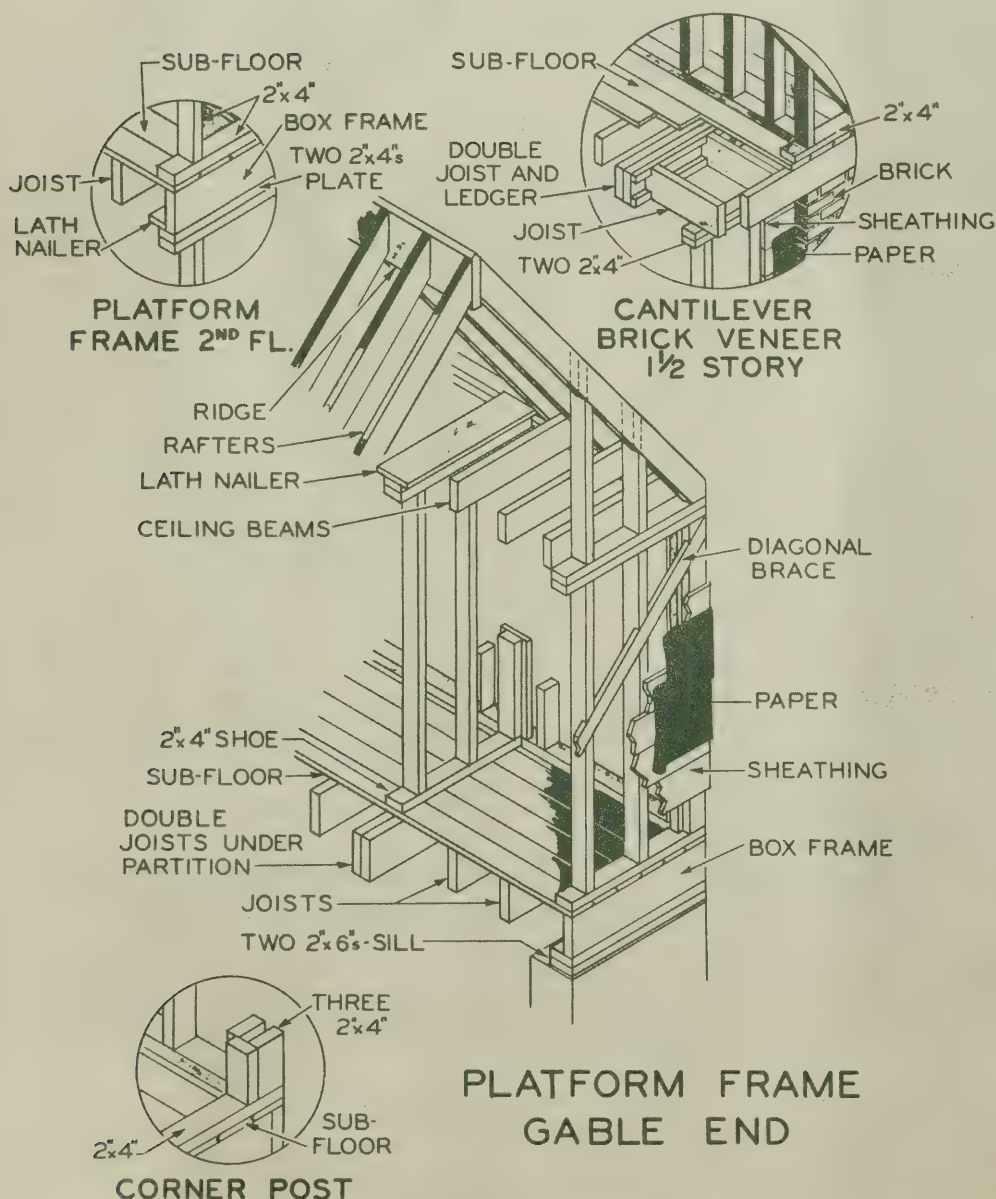
or face brick or stone backed up with sturdy but less expensive masonry materials.

No matter what type of construction you choose, the walls should be insulated thoroughly. Although insulation materials do cost money, they save many times more than they cost over the years in heat and possible damage due to condensation. There are a variety of good insulation materials including rigid sheet insulation, batts or blankets and flexible types of material that may be put into wall cavities.

A good roof is the best economy for any house, and there are a number of good materials: cedar shakes; asphalt or asbestos-cement shingles; slate or tile. Very little slate or tile are used in small homes these days due to cost and need to increase the load-bearing ability of the frame.

The interior of the home is finished either by plaster, dry wall finish or by wood paneling. Some interiors, for architectural effect, have exposed masonry walls including concrete block, brick and stone.

Well cut and finished woodwork and quality hardware finish off the house. And for best results in long-lasting economy, comfort and beauty it is best to insist that the best materials and workmanship be used on your house.



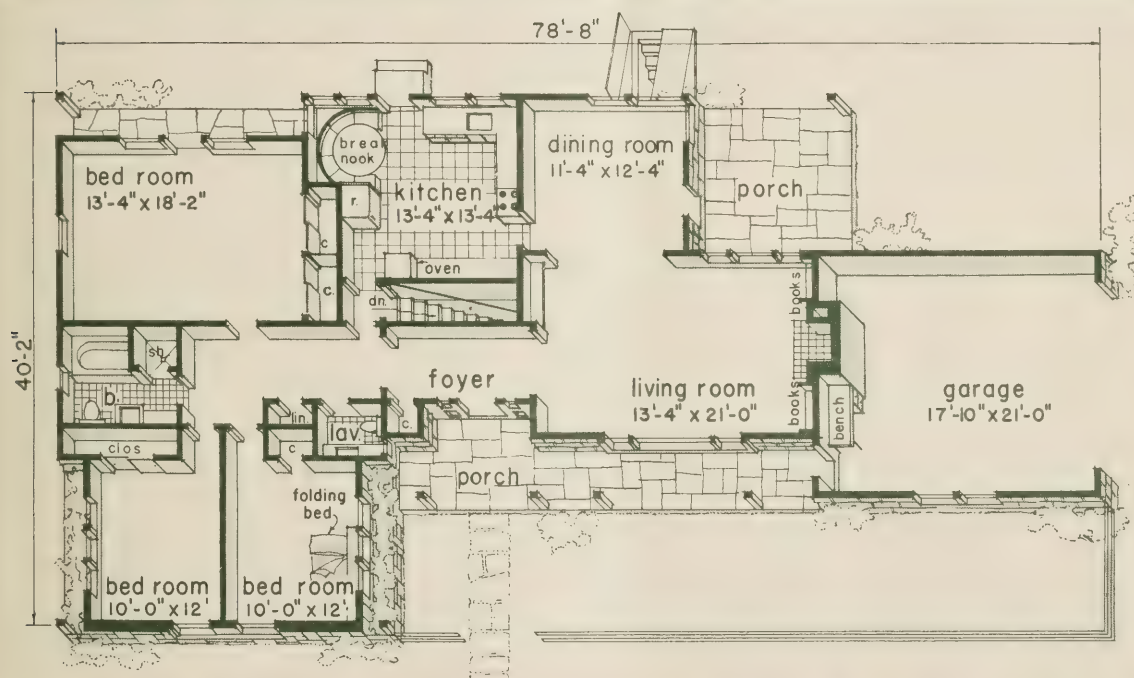
IN THE TOP inserts are shown two second floor frame details; one showing a box frame with nailers for lath; the other indicating how the second floor may be cantilevered out over a veneer wall. Note how the rafters are carefully fitted and secured to the ridge and to the ceiling beams to produce a rigid, wind resistant frame.

IN THE LOWER part of this sketch especial attention is drawn to the double joists used under interior partitions. These prevent sagging floors and plaster cracks. The inset detail shows how three 2x4 members are used to form a strong corner post. A diagonal brace from this post, carried over the studs and down to the floor will produce a stiff wall. These details are some of the drawings described on the inside back cover under Item No. Four of the Plan Package.



# Six Rooms, Lots of Windows

HERE ARE SIX FINE, well lighted rooms spread out pleasantly on an L-shaped plan. The main bedroom is large, with two windows and a door onto the rear terrace. Across the hall with a bath at one end, are two smaller bedrooms both of which have wide, high windows along one wall. Where this hall opens into the foyer, there is a lavatory equally accessible to kitchen and living and dining rooms. The dining area opens onto a covered porch which should be a fine place for many a summer night's supper party. Built-in bookcases flank the fireplace. The garage for two cars, with doors leading out at the right side, calls for a wide lot or a corner site. The exterior is a combination of masonry, shingles and siding. Architecture is rather traditional despite the many and broad window openings. This home presents simple construction possibilities.



PLAN NO.

**TC-433**

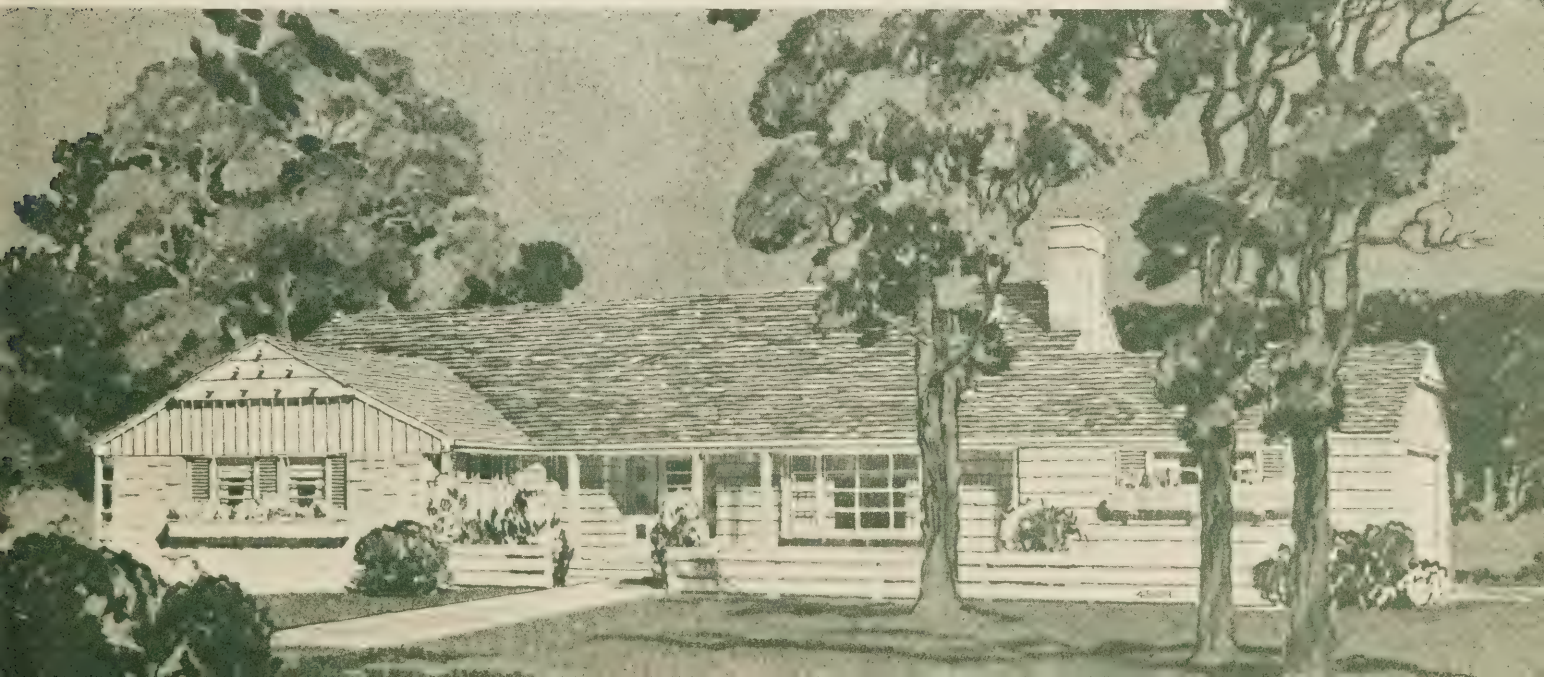
SIZE: Sq. Ft.

House 1625; Porches 348

Garage 378

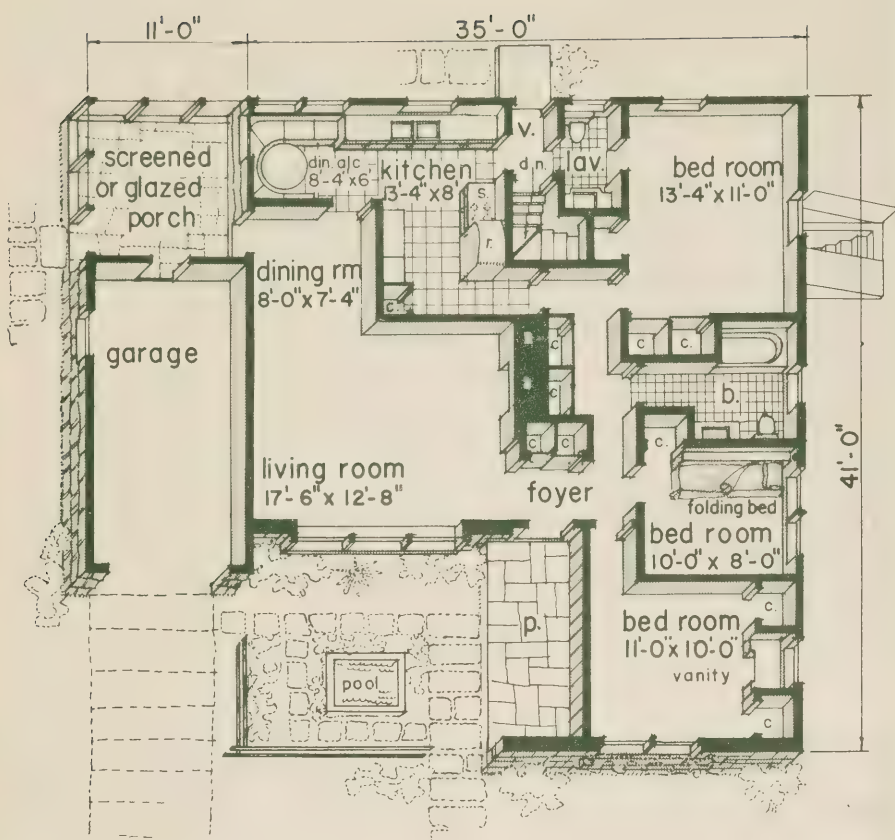
SIZE: Cu. Ft.

House 32451





# IDEAL HOME

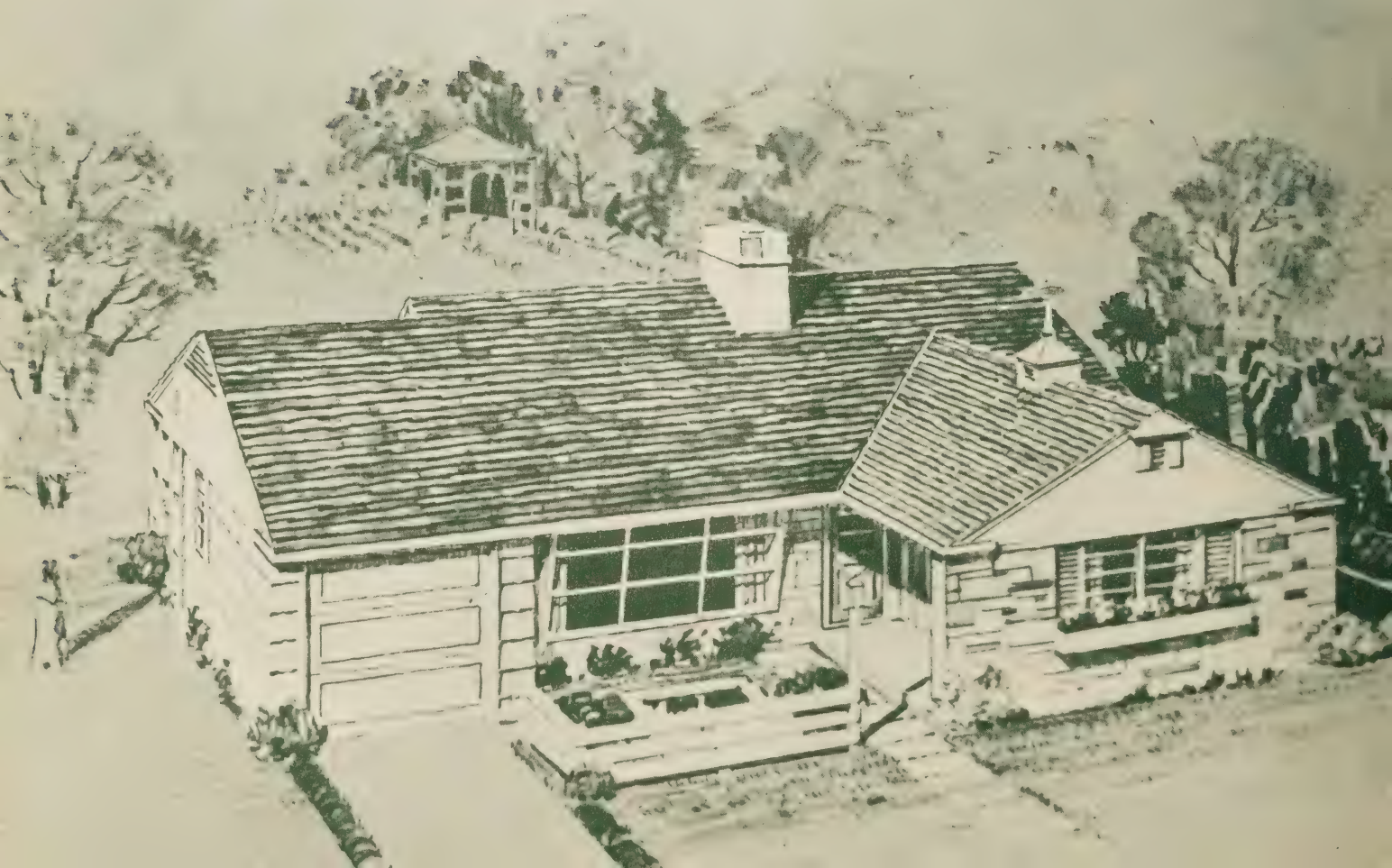


PLAN NO.

**TC-434**

SIZE: Sq. Ft.  
House 1158; Porches 175

SIZE: Cu. Ft.  
House 20700; Porches 1750





# FOR LIVING IN THE COUNTRY

COUNTRY LIVING presents some problems that city dwellers encounter only when they have large lots and huge back gardens. This house would fit either case, but it would be a fine home for people who like to work their asparagus, beans, peas, squash and tomatoes all summer. The kitchen overlooks the garden through wide windows; it is entered from the garden through a vestibule, served by a lavatory that leads to the master bedroom. On this landing, steps lead directly down to basement cold room or preserving kitchen. The plan offers a large living room and a very small dining room—perfectly all right for this house because the kitchen has large dining facilities. The main bath is close to the lesser bedrooms, and handy to the foyer for guest use.

A COUNTRY KITCHEN requires plenty of space because canning and preserving and getting meals at the same time is June-to-September routine. This kitchen, although it is used to aid circulation, has plenty of unencumbered space for all activities. Cabinets are located on both sides of the sink window and over the range and refrigerator. With all equipment located in an L-shaped plan, there is no lost time for the cook and her helpers.

**THIS PLAN**, of course, could work equally well for any city dwelling. Lot width requirements are minimum—it is really a square layout, one of the most economical for construction. Stone is suggested for the bedroom wing, with shingles or board siding on the other walls.





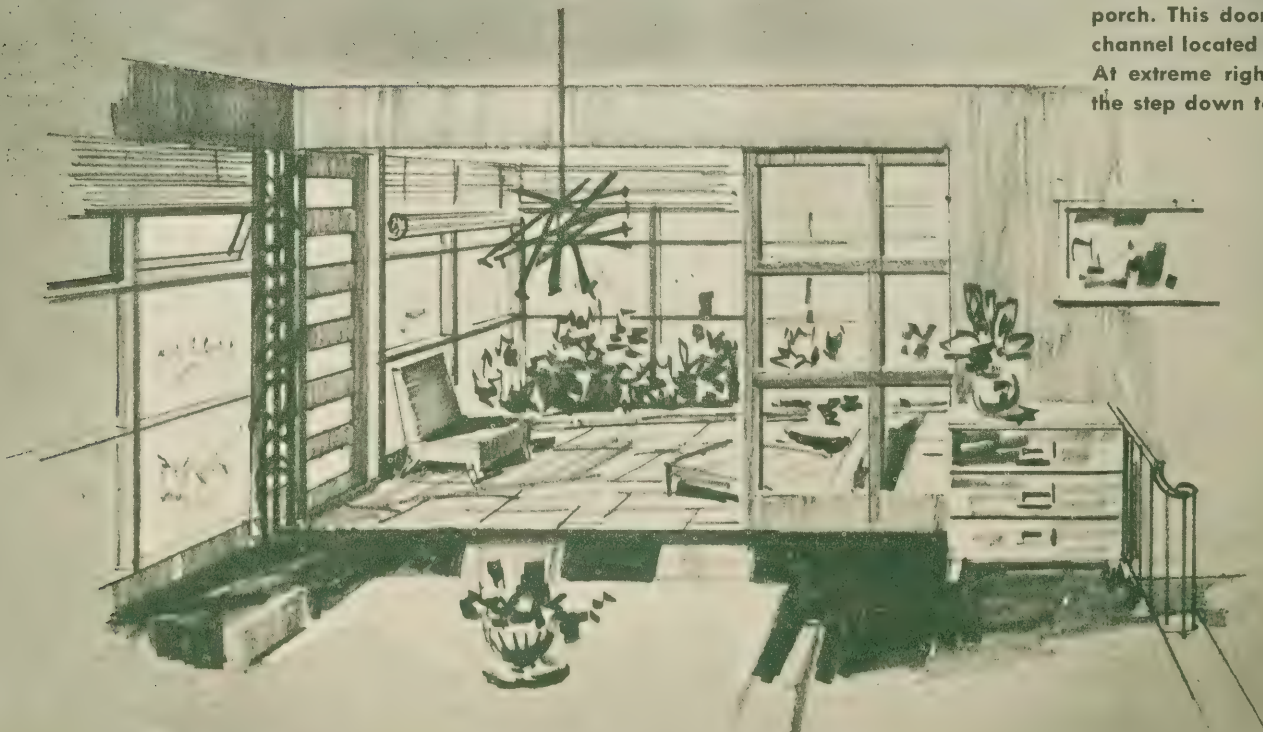
# A Step Down to Living Room

THERE ARE many things about this home, aside from its classic wide-front look to make it appeal to all members of a medium-sized family. The housewife has a wonderful kitchen with range, double sink and work tops along one wall, and refrigerator and plenty of cabinets along another wall. Both areas are handy to the U-shaped breakfast nook and the large pantry. This roughly T-shaped kitchen opens onto foyer, dining room and rear landing which leads directly to the outside, the rear bath or the basement. The master bedroom, which also uses the rear bath, has two very large closets of the walk-in type. The small hall serving the other two bedrooms and the second bath has a built-in linen cabinet. Guests

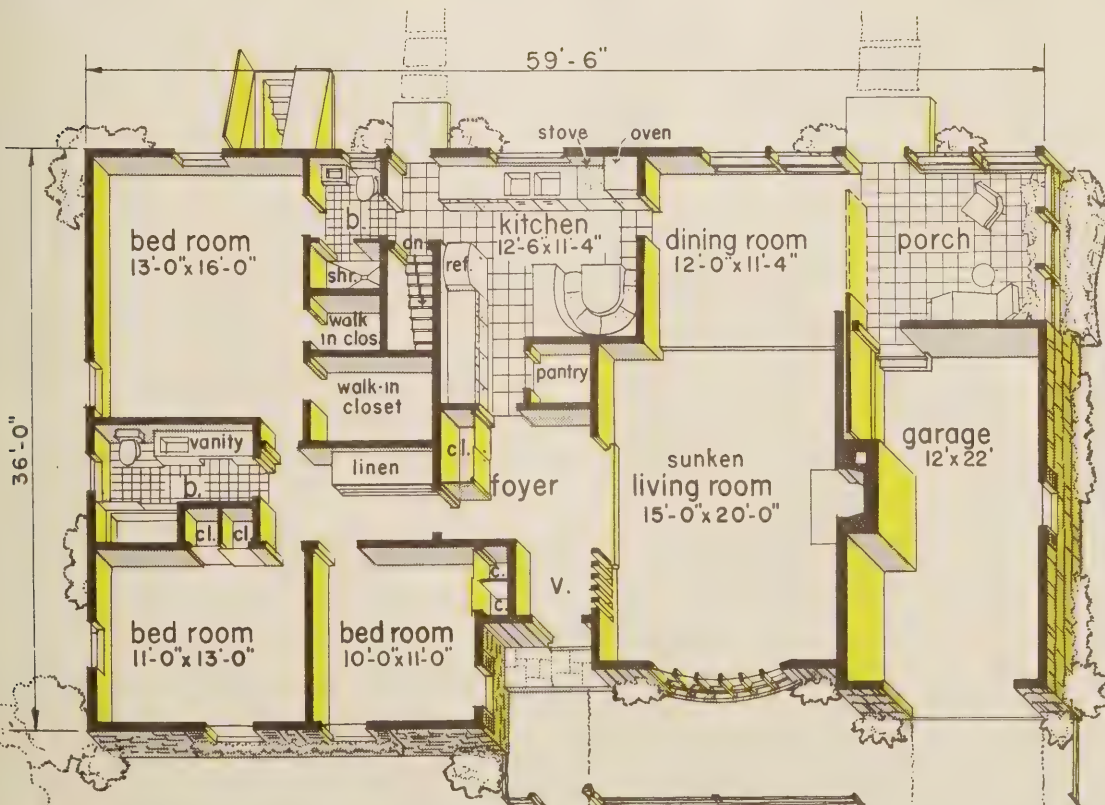
arriving may hang their clothes in the wide closet in the foyer and use the front bath with its vanity type lavatory as a powder room. The right front bedroom can also serve as a den.

The living room is given special treatment by dropping it one step below the foyer and dining room levels. It has a big fireplace and wide bow window at the front. The rear of this room is lighted by wide windows in the dining room. A most attractive feature is the sliding glass panel which can turn the dining area and porch into one long inside-outside party room, or two separate areas. Large cut stone blocks, vertical wood siding and shingles are suggested to give a rich and interesting exterior treatment.

AT LEFT IS a sketch of the sliding door, partially open, between the dining room and the porch. This door slides into a channel located in the garage. At extreme right of sketch is the step down to living room.







House (incl. basemt) 35280  
Garage 3696



YOU WILL NEED a large lot for this house because, aside from stretching 85 feet from side to side, it has six big rooms, two-car garage and a spacious arrangement for outdoor living. It is a substantial appearing home, with most of the exterior built of rough stone masonry. Large window openings feature every room in the house. The master bedroom has three closets and private bath adjacent to a separate dressing room.

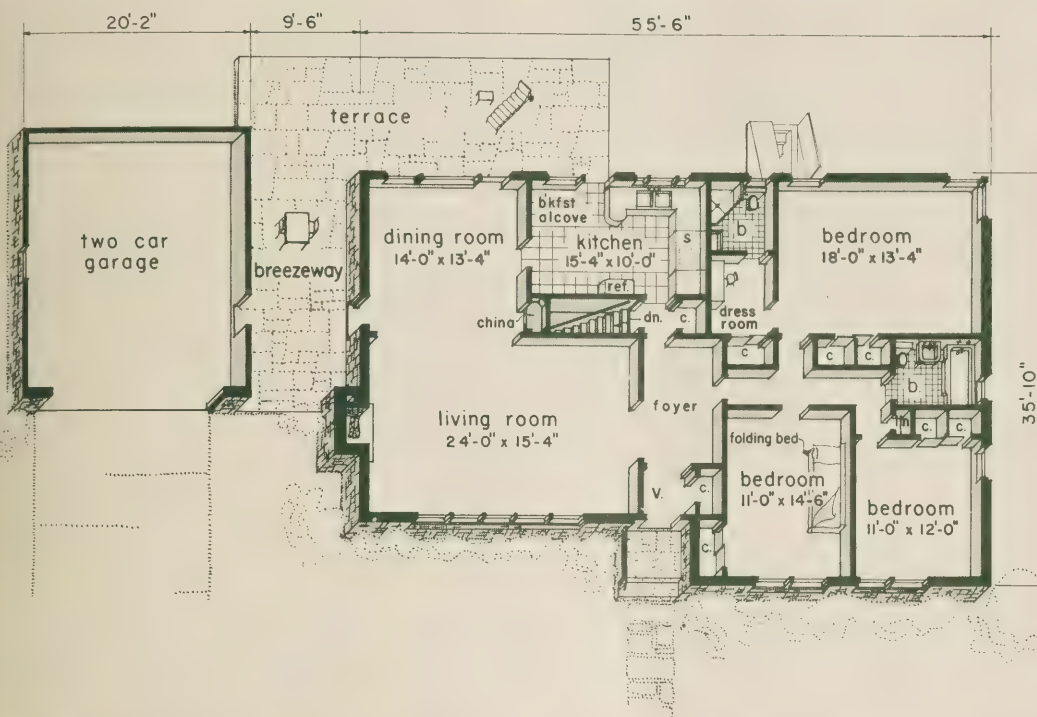


## Seven Room Home—





# Ranch House on the Large Side



PLAN NO.

**TC-438**

SIZE: Sq. Ft.

House 1843; Garage 460  
Breezeway 180

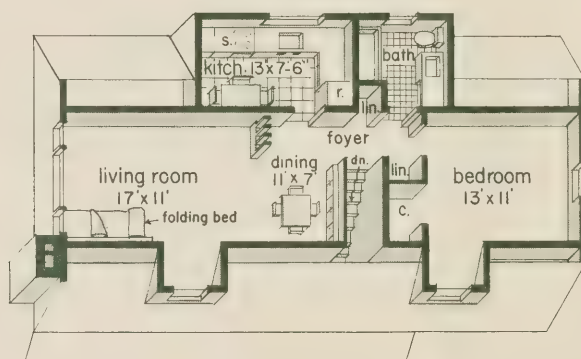
SIZE: Cu. Ft.

House 37163; Garage 5520  
Breezeway 1080

THE BREEZEWAY and terrace form a large L-shaped area, flagstone paved. The foyer and small hall give complete privacy to the sleeping wing. An aisle-type kitchen has a breakfast alcove and plenty of cabinets and working surfaces.

## or Two Apartments

THIS IS a flexible plan which can be turned into the kind of house you need—right now, or in the future. The five-room ground floor is self-contained, large enough for a medium-sized family. If more space is required, the second floor could be turned at once into two more bedrooms with bath and sewing or storage room. Or, as is suggested here, the second floor could be a spacious three room apartment. You could rough in the plumbing for the second floor kitchen and turn this area into a rental apartment any time in the future.



2ND. FLOOR APARTMENT

PLAN NO.

**TC-439**

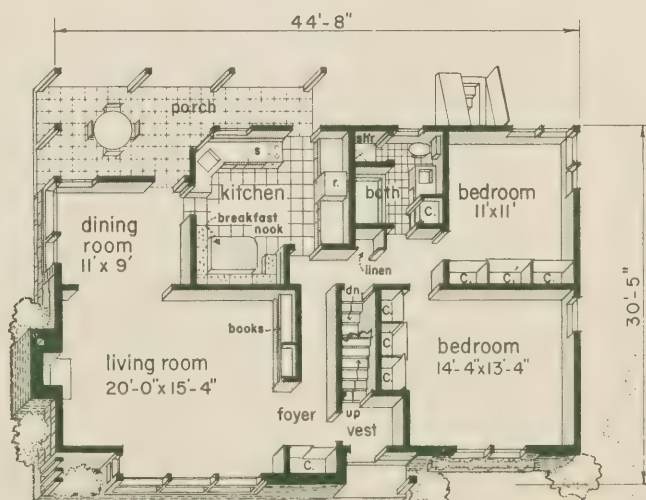
SIZE: Sq. Ft.

House, 1st Floor 1115  
House, 2nd Floor 746

SIZE: Cu. Ft.

Total 24530

NO SPACE is wasted in this plan, and there is good privacy for the second floor apartment as the stairway leads from the vestibule. Locating main and second floor baths and kitchens over each other reduces costs.



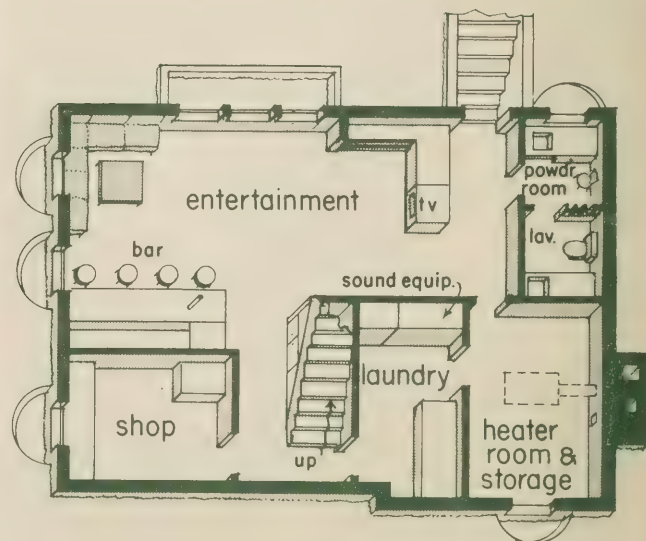
1ST. FLOOR APARTMENT



# LARGE FAMILY HOUSE FITS ECONOMY



STUDY THE BASEMENT at right if you want some clever ideas on what to do with a cellar roughly 25 x 35 feet. One corner is given to heating plant which, these days, is small and compact. A long entertainment room has a bar, built-in lounges and cabinets; extending television set and cabinets form a room divider and nearby cabinets contain high fidelity sound equipment. This makes a wonderful music room, and very well separated from the rest of the house. Another corner is given over to the shop. Just across the hall is a laundry, and at the other corner is a compartmented powder room and toilet area. Stairway to the outside gives complete privacy.



IN A SMALL HOUSE, the basement can become one of its most used areas. The cost of this extra space is most reasonable as compared to the balance of the house.



# SITE



PLAN NO.

**TC-441**

SIZE: Sq. Ft.

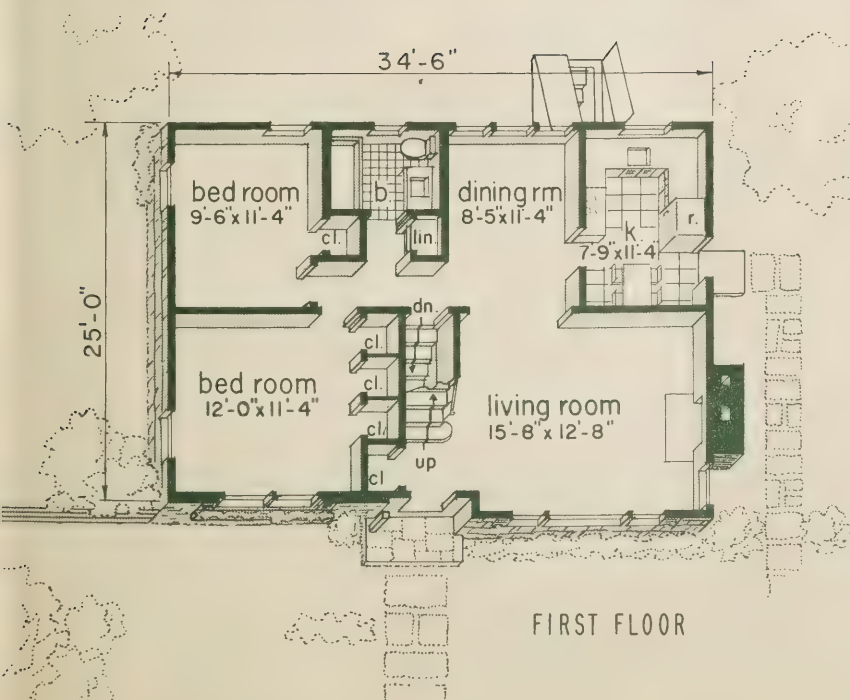
House, 1st floor, 843

2nd floor, 450

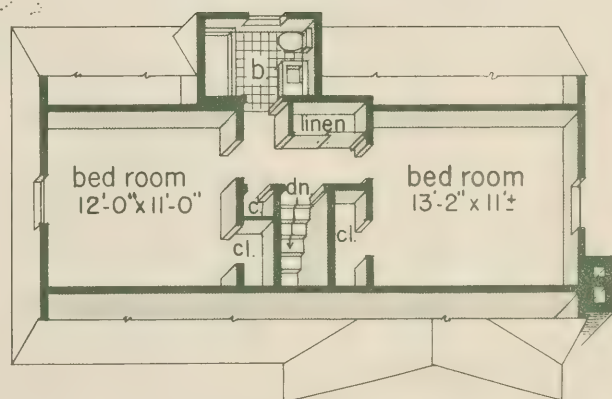
SIZE: Cu. Ft.

House 31500

THERE IS NO denying it: for pure economy and maximum living space, there is nothing like the story and a half house. This one, which may be completed by degrees as the family grows or the budget loosens up, could start with two bedrooms, kitchen, dining and living rooms. Later the second floor, with bath economically located over the one on first floor and two more large bedrooms, can be finished and put into service. And still later the basement, which has something for everybody in the family, can be finished and equipped for the most pleasant living you can imagine (see basement article in front part of this book for illustrations and ideas on making the most of this area).



FIRST FLOOR



FUTURE SECOND FLOOR



# Traditional or Contemporary for Wide or Narrow Lot

IF YOU LIKE contemporary styling with low roof lines and novel window openings, or if you prefer more traditional lines, steeper roofs and bow windows, here is a plan that will work either way. And, fortunately, this same plan will fit neatly onto a 35- to 40-foot lot or can stretch out comfortably on a site twice as wide. The basic plans for these two homes are identical—three bedrooms to the rear, a large kitchen, and all living quarters at the front. Two doors in a small bedroom or den give good circulation to the rear area which already has access to outside through kitchen.

THE PHOTO BELOW shows how this plan was adapted traditionally to a rather narrow lot, using a large bow window in front and a wide bay at the side. Shingles were used over the entire exterior. The architect's drawing at the right shows this plan widened with a breezeway and carport, and modernized with a low-pitched roof, vertical board siding and windows reaching up to the sloping roof. In overall appearance no two houses could look less alike; but they are actually the same economical, comfortable, easily built home as comparison of the two plans will show.

PLAN NO.

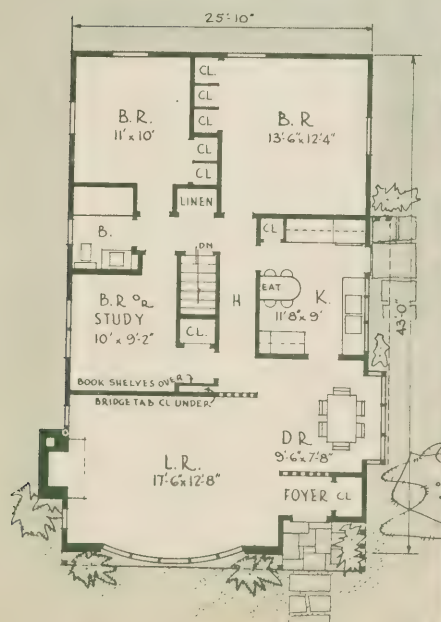
**TC-442**

SIZE: Cu. Ft.

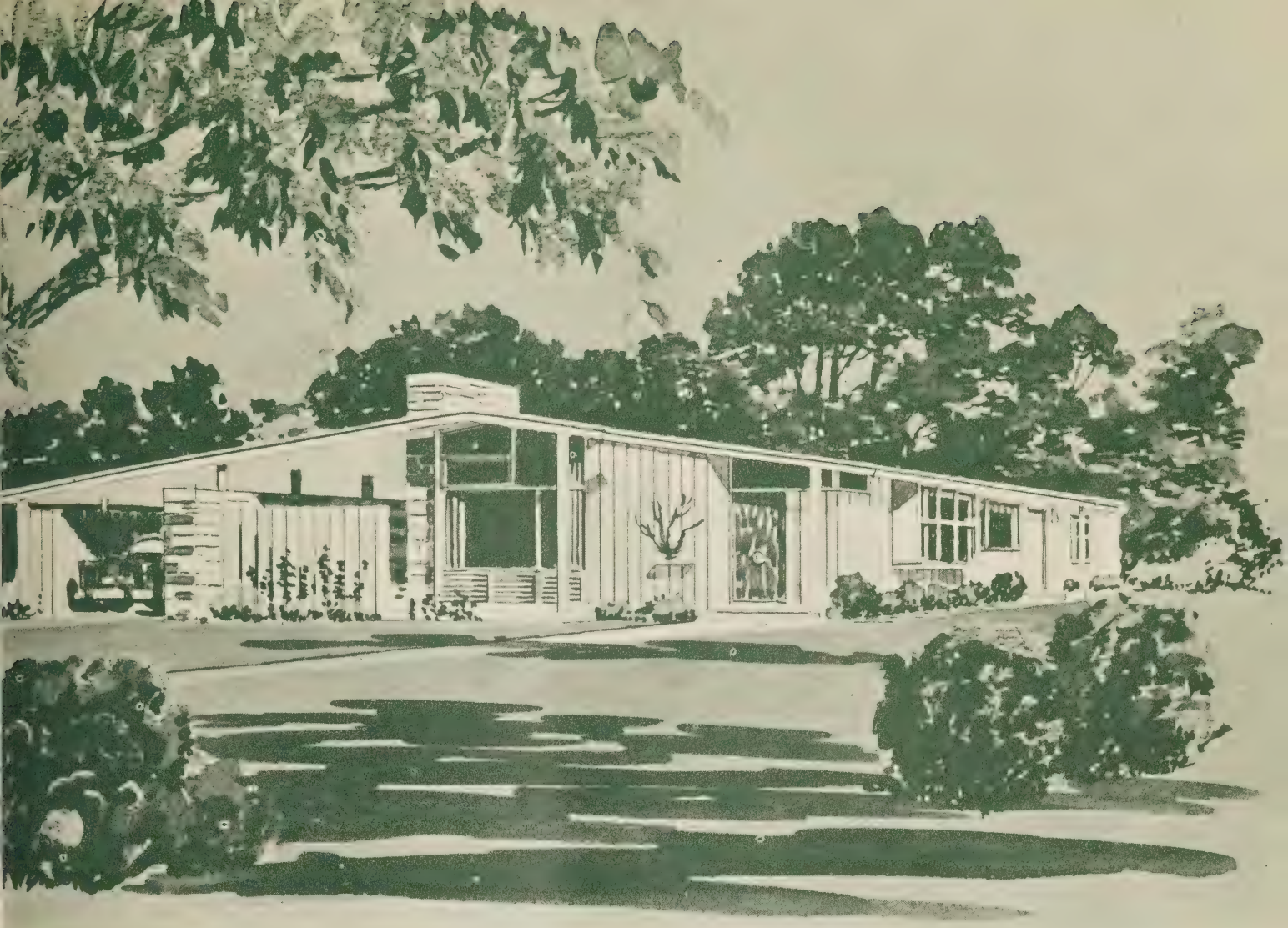
House Total 13964

SIZE: Sq. Ft.

House 1102; Porch 27

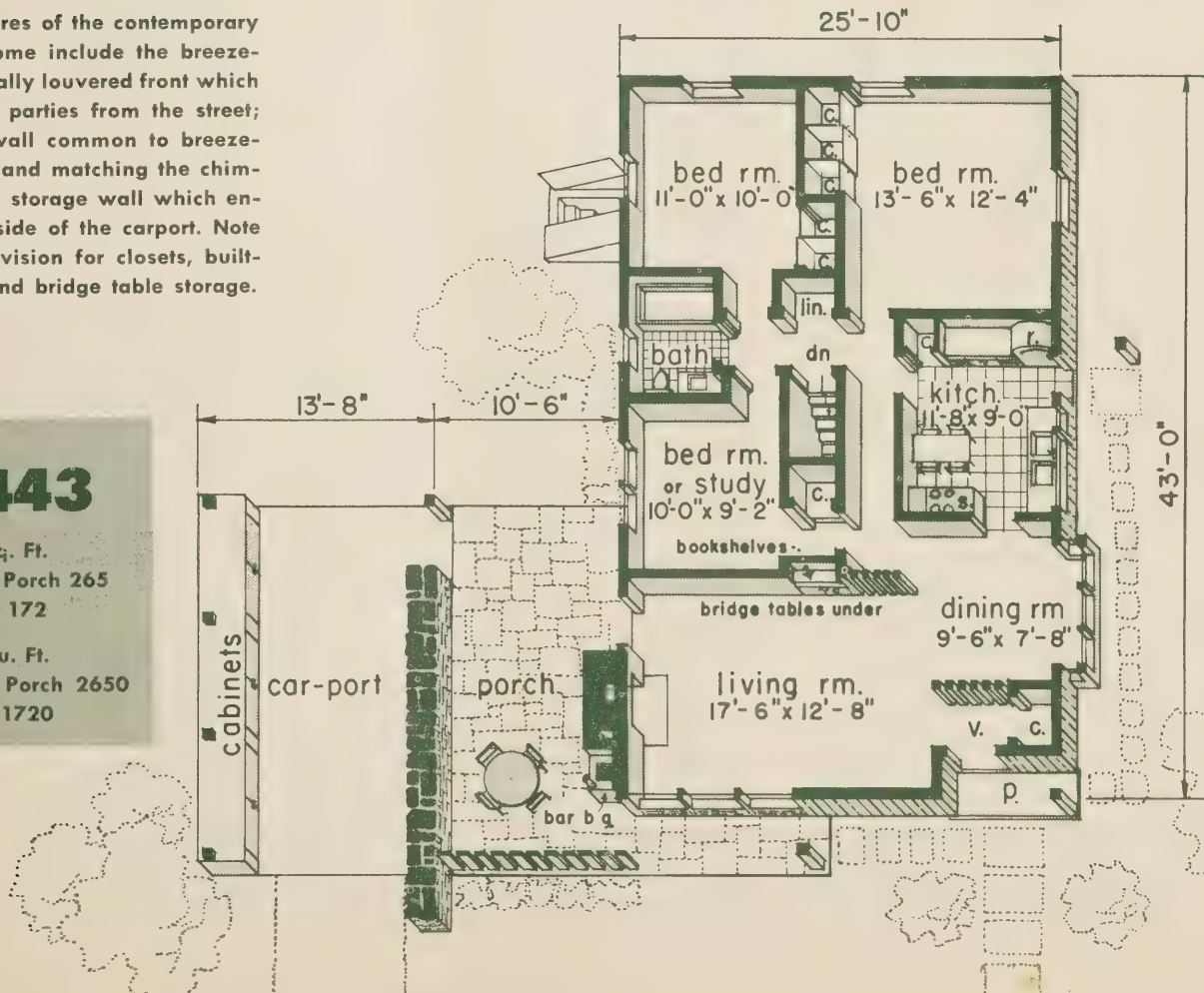






INTRIGUING features of the contemporary styling of this home include the breeze-way with a vertically louvered front which screens barbecue parties from the street; the wide stone wall common to breeze-way and carport and matching the chimney; and the long storage wall which encloses the other side of the carport. Note the generous provision for closets, built-in bookshelves and bridge table storage.

PLAN NO.  
**TC-443**  
 SIZE: Sq. Ft.  
 House 1146; Porch 265  
 Garage 172  
 SIZE: Cu. Ft.  
 House 19994; Porch 2650  
 Garage 1720





## TWO STORY, SIX ROOM PLAN FOR SMALL LOT



## WHAT MAKES A HOME A GOOD INVESTMENT

IT IS VERY EASY to see that, if you can afford to build a home, the pride of ownership, independence, and a growing equity in real property leading to greater security, are major satisfactions.

But a home is even more than this: it is a sound investment that builds up wealth much faster than the equity seems to grow over a long period of mortgage payments.

### *Select Proper Site*

If your home is well designed and solidly built, is attractive and can be seen by other people to its best advantage, it is very often far more valuable than it was when you built it. This means that one of the best ways to secure your home investment from the start is to pick a good site for building. Select a neighborhood that is building

up, not running down. A cheap lot in a deteriorating neighborhood will lower the value of your home long before you have paid the full price for it.

For the sake of initial economy, never buy a lot that is too narrow. This will limit the design of the home you can eventually place on it, will restrict your outdoor living, and will make your property have less attraction for a possible buyer. For another reason, don't buy too large a lot. Too much land can hurt, too. Unless you have plenty of help or eager beaver kids, thousands of yards of lawn to seed, weed and mow can kill the pleasure you have in your home, and possibly ruin your health and disposition. And, don't forget a quarter of a mile of sidewalks and driveways covered with snow is rough on muscle, time and temper. Pick a good looking lot to fit your house and your time to

care for it. Get as many trees and other natural plantings as you can; and be sure the ground under the lot is suitable for excavation and may be easily drained.

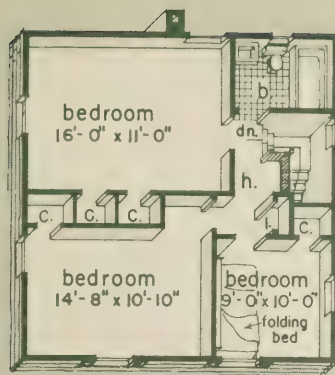
A good site is a good investment in every way.

### *Save on Income Taxes*

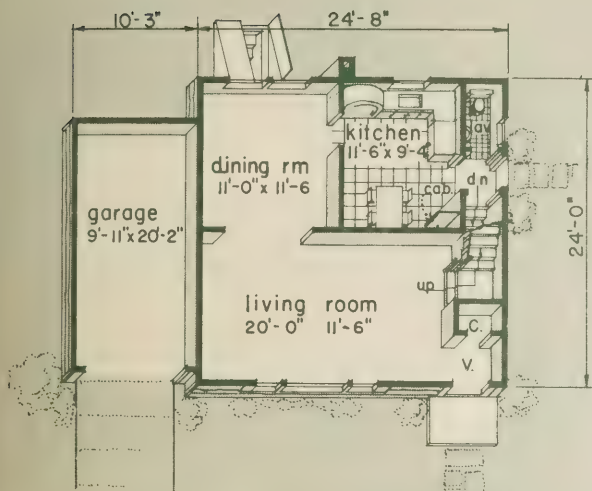
When you own a home, of course, you have to pay taxes on real estate—something you didn't do directly when you rented. The tax was paid with your rent—a part of it; but you got no credit for it. But, when you pay your own taxes, even though they seem quite a lump each year, they are deductible from your taxable personal income. Interest payments on your mortgage are also deductible. So, logically, some of the cost of living in a home that you own, is returned by lowering your overall taxes.

There are other tax benefits in home ownership, too. If your old home can be sold for a good profit—as many have





SECOND FLOOR PLAN



FIRST FLOOR PLAN

A ROUGHLY 24 x 24 foot home on two floors can give a family six fair-sized rooms and quite a bit of living comfort at low cost; but generally such minimum homes have little design attraction outside or in. This is a small home, but attention has been given to the exterior where a slight overhang, horizontal siding, a special window treatment produce a simple but pleasing and richly dignified appearance. Basement adds more space.

**ECONOMY** in this plan is achieved through simplicity. Rooms are square, partitions straight and openings are kept to a minimum. On the first floor are a sizable living room, adequate dining area and kitchen. For convenience a lavatory and toilet are located beside the kitchen near the side door. Second floor has three bedrooms, plenty of closets.

PLAN NO.

**TC-445**

SIZE: Sq. Ft.

House, 1st Floor, 593  
2nd Floor, 624; Garage 205

SIZE: Cu. Ft.

House 15745; Garage 2530

been in recent years—you don't have to pay taxes on this profit if you reinvest the entire sum in new home property. In this way, your profit is used entirely to acquire new and even better and more valuable property.

When inflation comes, and stays as it has now for some years, your cash dollars decline in value. At the same time, the value of your real estate increases. And meanwhile, if you are still paying off on your mortgage, you are paying inflated dollars for property that cost less when you originally bought your home.

Some people think that building their own home, using their labor instead of money, is a good investment. This can be true if the new owner is skilled in building and has plenty of time to spend. In general, however, a family with skills in other fields can create more wealth and produce more goods in their own field than in home building. The various trades required to build a home call for skills that are not easily acquired; and much time can be lost, and many costly

mistakes can be made in learning to build while you build.

The best and most economical way to get a good home is to choose a professional design and a professional builder. You can, of course, adapt the design to your own needs; but the skilled home designer can give you more space, better arranged and more easily executed in building materials, than you can design for yourself. And the contractor, experienced in building thousands of houses, with contact daily with the various trades that are needed to build a house, can produce a home in less time, for less money and with far fewer mistakes than you can do it unless you are an exceptionally agile person with hammer, saw, trowels, plumbing wrenches and electrical tools.

#### Get a Professional Job

And if you decide to let a good designer and a reliable contractor combine their efforts to build your house, don't bother them too much while they

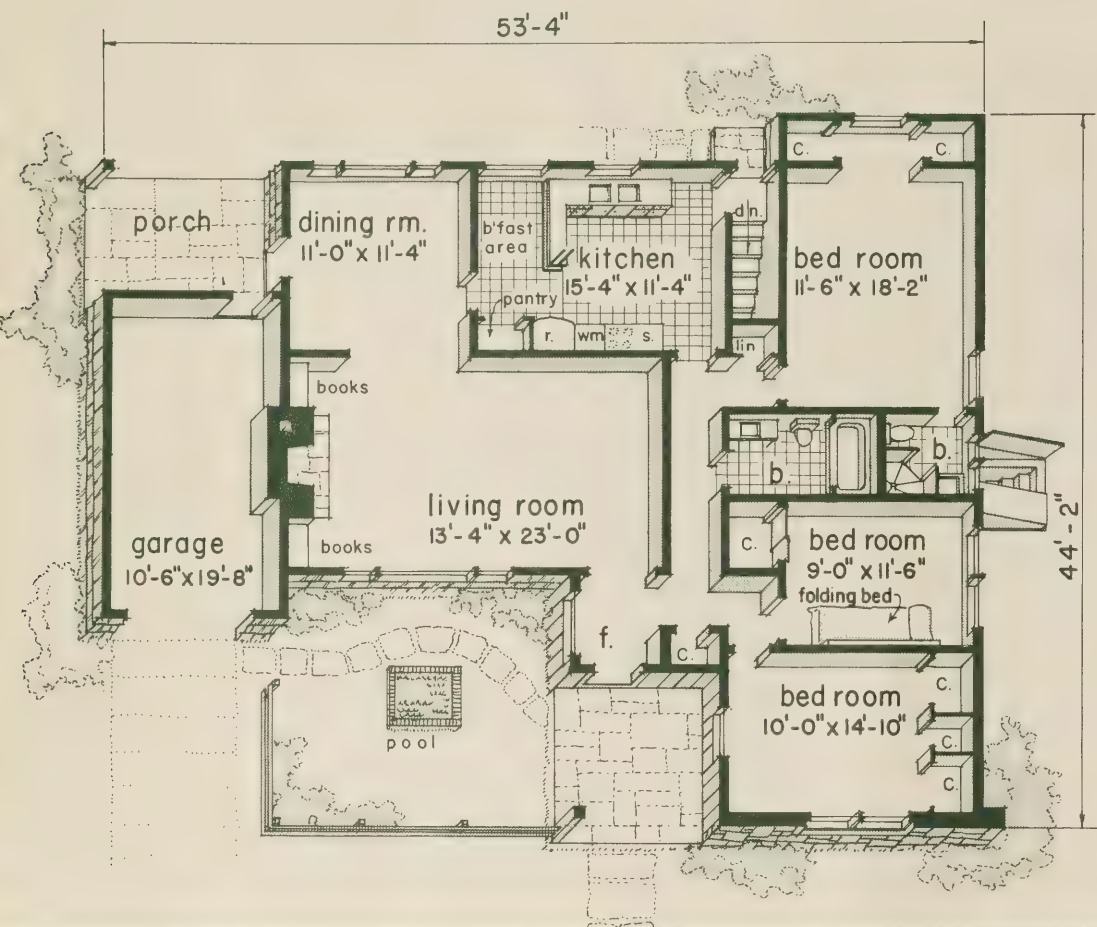
are doing it. Study your plan carefully at the outset. Make your alterations on the plan. Determine all the materials and equipment you will ultimately want in your house before you contract to build it. Then let your professional helpers go ahead and get the job done satisfactorily.

Some of the greatest heartaches and budget wrecking in home building occur because people change their minds after a house is well underway. When you change locations of doors or closets, or shift partitions, or tear up plumbing to rearrange rooms, you are more than doubling the cost of the features you are altering. You pay for what you originally ordered; you pay to wreck it, and you pay all over again for the new arrangement.

That is why the house that is the best investment is the one you decide to build after you have studied the plans so carefully you know it is exactly what you want. So, look at all the plans in this book; but don't build one of them until you know it's *really your home*.



# Rich Look for a Modest Home



# TC-446

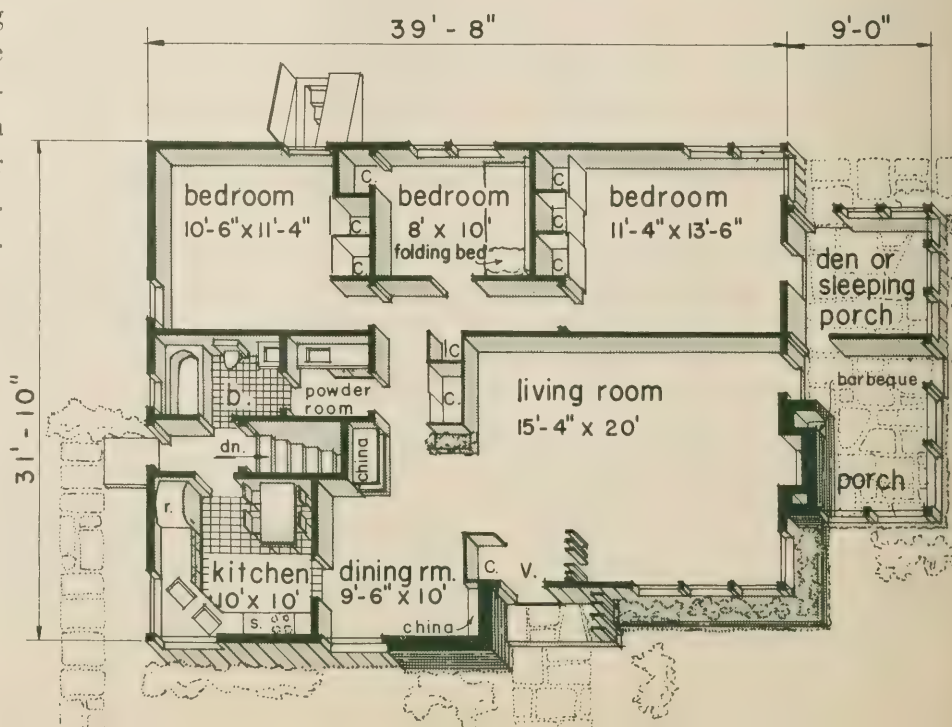
House 1421; Garage 220  
Porches 174; Total 1815

**House (incl. Basemt) 28420**  
**Garage 2310; Porches 1566**

**PLEASANT AND** livable features of this plan are the two covered porches, the little fenced-in garden with a pool, and the large aisle-type kitchen with easy access to back door, front entrance and dining room.

HERE IS a rectangular plan, so compactly laid out that six sizable rooms fit easily onto small ground area. The bath, connected with a powder room, may be entered from small hall or from the rear vestibule, making it equally accessible to sleeping, living and work quarters of the home. The desirable extras contained in the enclosed area at the right include a den or sleeping porch and an outdoor living room with built-in barbecue. The home is modern inside and out.

# Small Home with Extra Living Features



# TC-447

**House 1186; Porches 180**

**House (incl. basemt) 22534**  
**Porches 1980**

**House (incl. basemt) 22534**  
**Porches 1980**



FIRST GLANCE at the sketch and plan of this home and you get an impression of elegance and spaciousness that might seem too rich for a modest budget. It is elegant in design and the spaciousness is due to compact plan layout; but it is really a rather small house. The foyer and hall solve all circulation problems. The two baths are back-to-back for economy. The smartly contemporary exterior is done in stone, shingles and siding.



LOW-PITCHED roofs, brick work and the horizontal emphasis of the window treatment give this little home a much wider appearance than the 49 feet it occupies. If you are looking for comfort with maximum building economy, study this plan closely.



















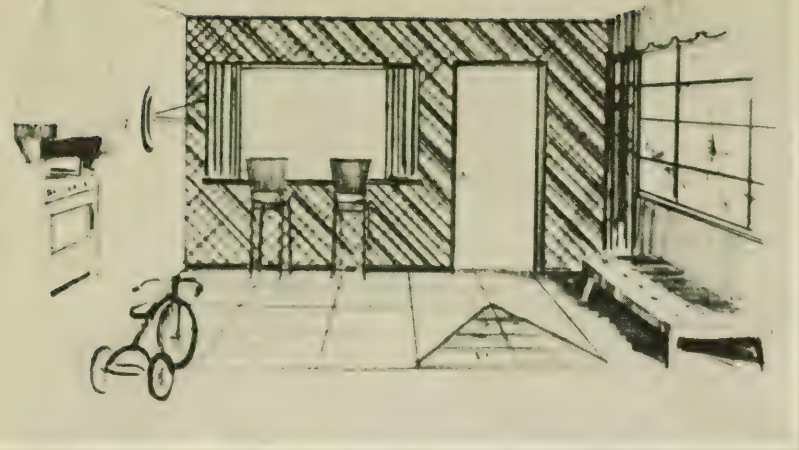
## or Four Bedrooms and a Private Garden

BY INCLUDING THE garage within the wall and roof lines of this home, a broad and luxurious appearance is given to a relatively modest-sized design. Basically it is a two bedroom plan with bath convenient to large kitchen and the beautifully lighted front-to-rear living-dining area—all on one floor. In addition, the garage and its extending storage area form a sheltered porch overlooking the private garden and its pool. An unusual feature is the “eat bar” which serves as breakfast nook or as a through-the-wall serving bar between kitchen and dining room. Folding doors can close off the dining room if desired. The exterior can be executed attractively with a combination of stone masonry and shingles; the fence adds charm.

WHEN THE FAMILY grows, the half story above may be easily turned into two more bedrooms with a common bath off the hall. Both bedrooms above have exceptionally wide closets—one with a dressing alcove, the other with splendid under-roof space for luggage. This plan has been built many times, and at left is a photograph of the work corner of the kitchen showing how compactly sink, range, work tops and cabinets can be installed for fine appearance and efficient operation. The style of this home is on the traditional side; but the many wide window openings in all walls, the space-saving location of rooms and halls, plus the careful study given to adequate storage areas make it a modern home in all respects.

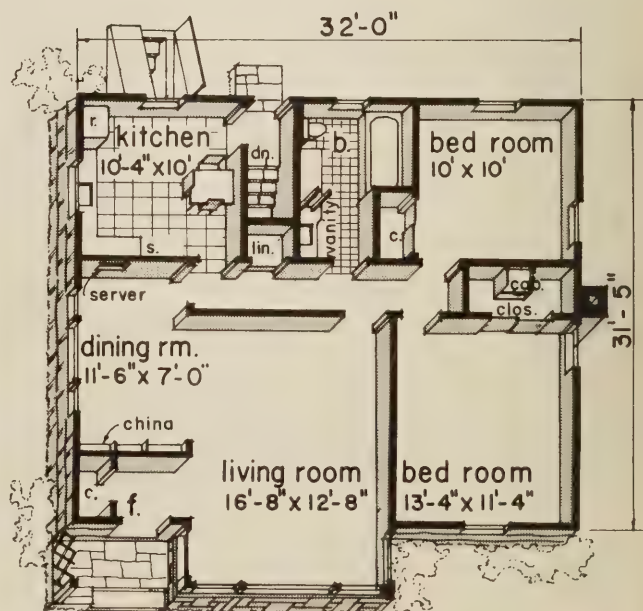


## RANCH HOME HAS MANY BUILT-IN FEATURES



THIS NEARLY square plan was especially designed to give attractive appearance, maximum living comfort and convenience at minimum building cost. To save expense, there is no fireplace; walls are straight; and hallways as such are practically eliminated. Circulation revolves about the partition at the end of the living room which is really little more than a screen in front of kitchen, closet and bathroom doors. The four main rooms are large, well provided with windows and comfortable. Note the thru-wall server, china cabinets and the other handy built-ins.

## GOOD LIVING WITH LOW BUILDING COST



PLAN NO.

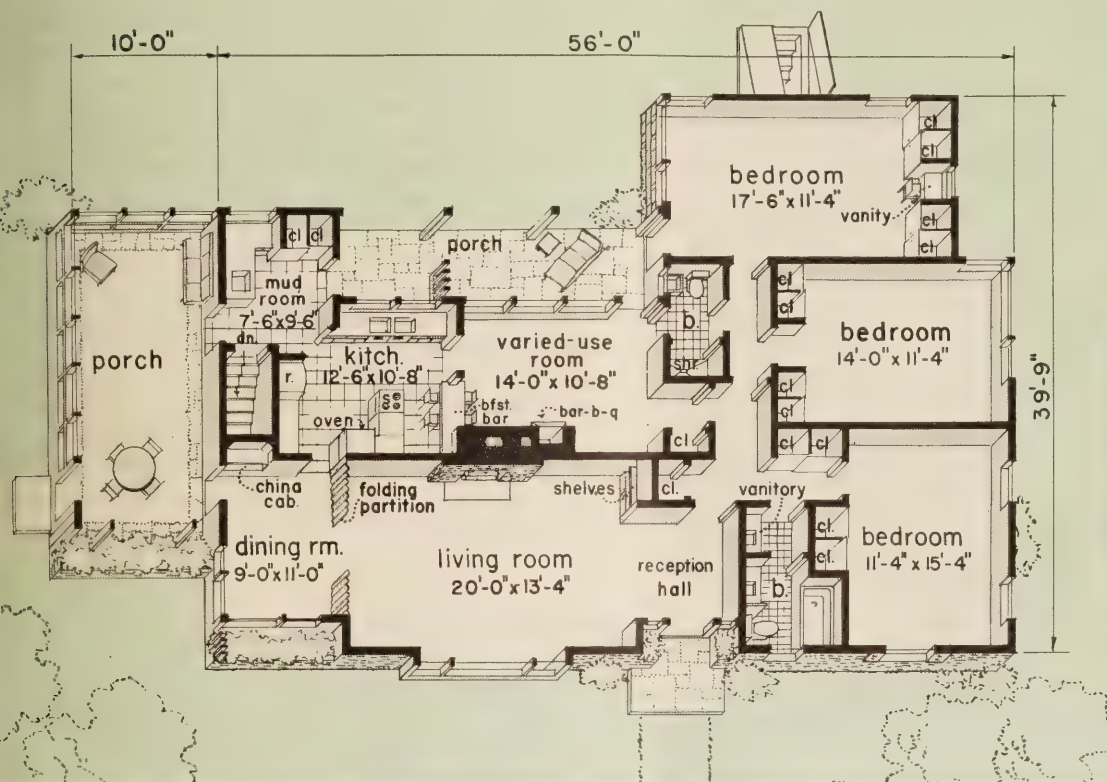
**TC-452**

SIZE: Sq. Ft.  
House 930

SIZE: Cu. Ft.  
House 18376



IT WILL TAKE a lot of careful study to see and appreciate all of the delightful features designed into this ranch-type home. Starting at the left is a large enclosed living porch which opens onto both the rear hall and the dining space. This dining area, when folding partitions are pulled back, becomes part of a long living room. Back of this area is a nicely arranged kitchen adjacent to the mud room, a multi-purpose room which has a barbecue and a thru-wall breakfast bar (see sketch). The three large bedrooms are served by two baths, one with two doors, the other compartmented.



PLAN NO.

**TC-453**

SIZE: Sq. Ft.

House 1758; Porch 220

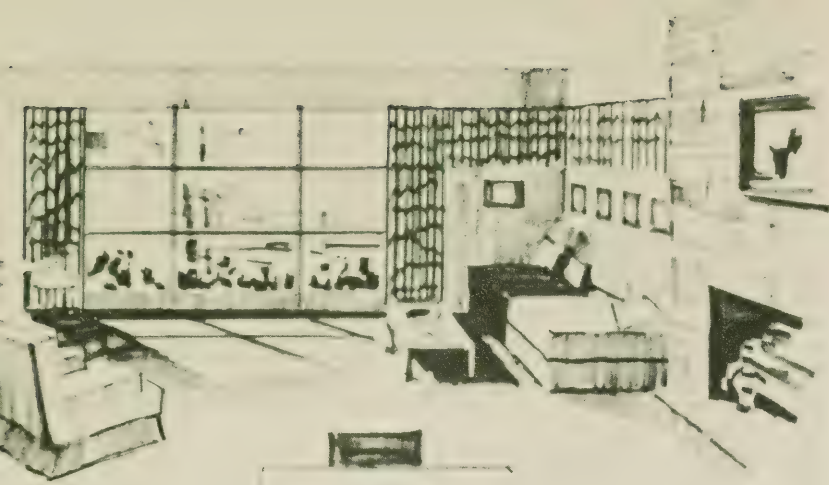
SIZE: Cu. Ft.

House 35479; Porch 2480

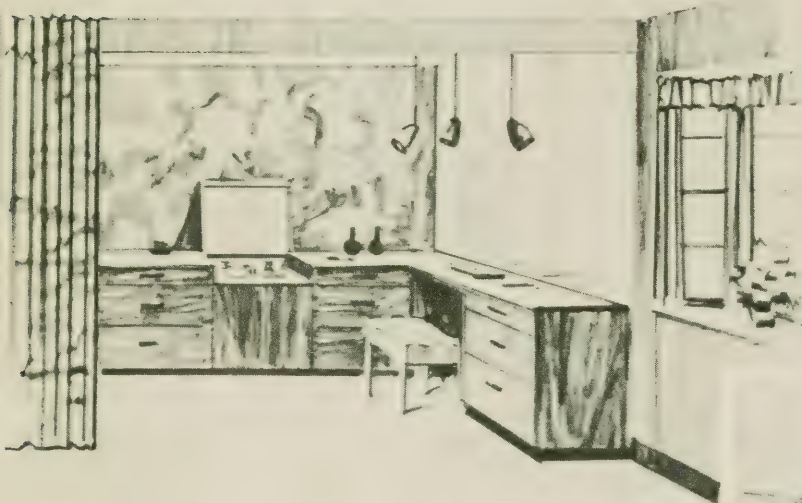




# Details That Add Convenience

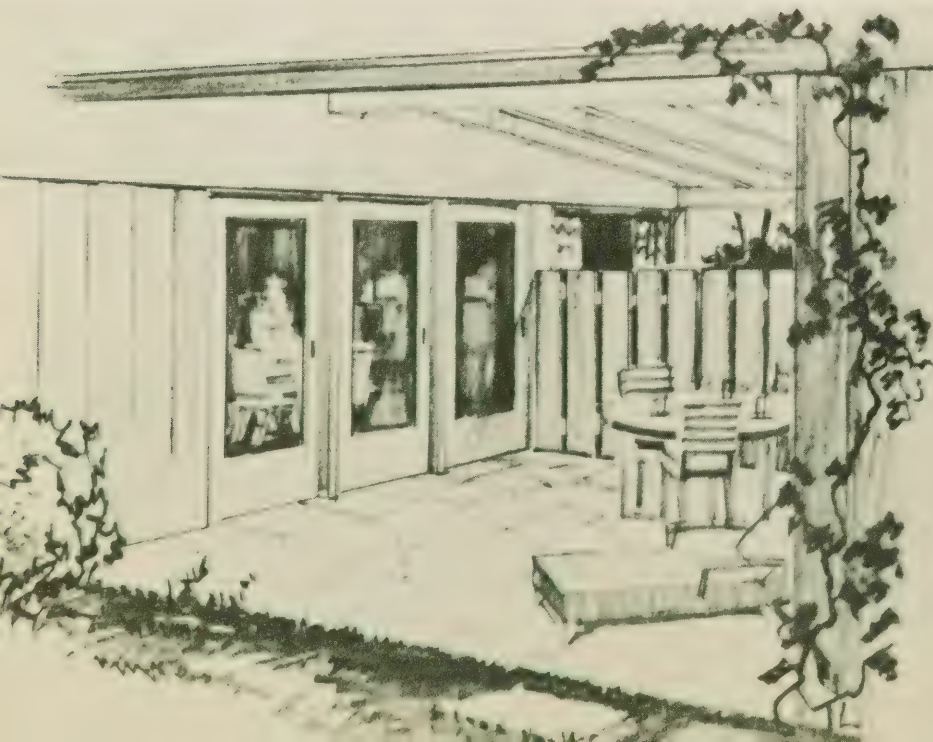
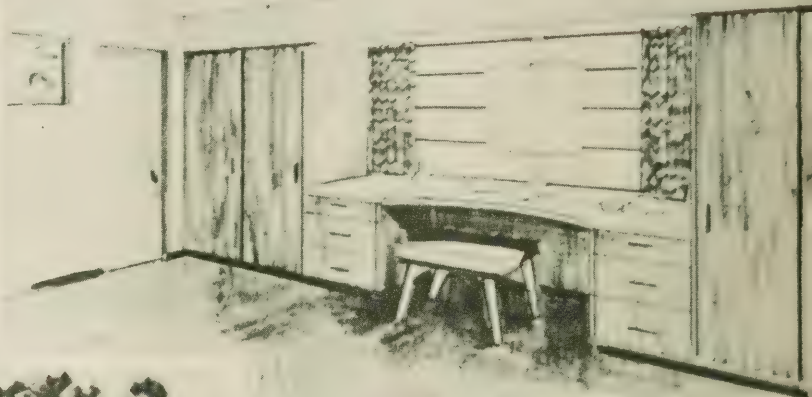


**STRIP WINDOWS** in the corner combine with a large picture window to give the living room of Design 430 lots of light and good wall space for furniture too.



**ABOVE**, folding door may be closed to separate dressing room and/or study from master bedroom. Bay window adds an unusual touch of distinction.

**AT RIGHT**, built-ins lining the window wall are both attractive and efficient. The huge, well-lighted vanity is the answer to any woman's dreams.



**SKETCH** at left, from Plan 449, shows how glass-paneled doors make the outdoor area accessible for informal summer entertaining, and bring a pleasant vista indoors the whole year 'round.

**AT RIGHT**, a porch adds much to the livability and the looks of a house. When it's built right under the roof line of the house, as this one is, it's an economical way to add a desirable feature.

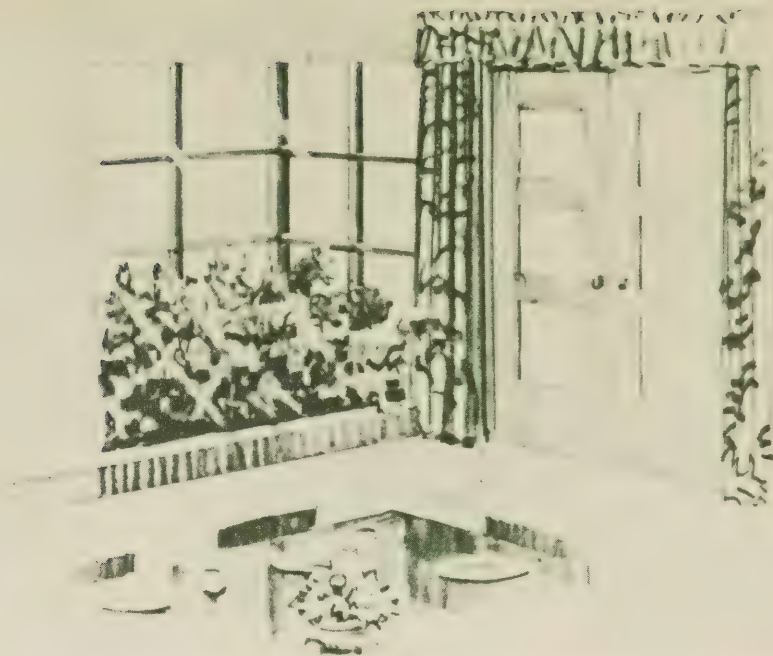


# Charm and to These Homes

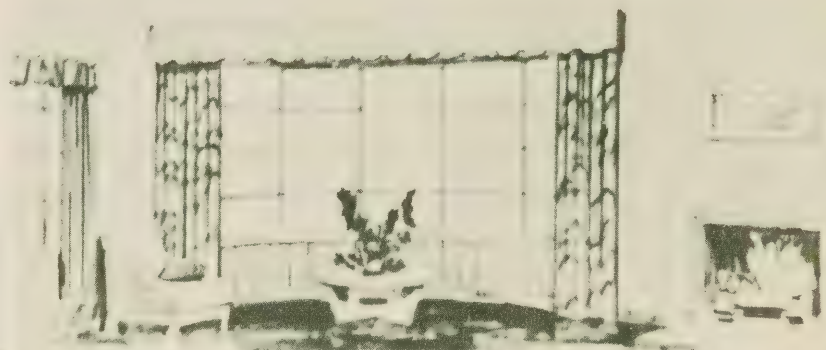
that enlivens the whole house. In most cases, planting areas are generously glassed—almost miniature greenhouses—rather than dim interior spots where plants would look wonderful if they could only get a chance to grow.

Outdoor living falls within the architect's province, too. Most of the homes here include a porch or breezeway designed to be equally useful for lounging or entertaining. Terraces abound. And wherever an outdoor living area occurs, doors are handily located for guests, family and serving purposes.

The built-in units that appear in almost every plan are—if you'll excuse the phrase—the touches that really make a house a home. It's the home builder's privilege to change their size or styling, or even omit them altogether, but it would be awfully difficult to improve on the attractively styled and efficiently engineered built-ins in the blueprints.

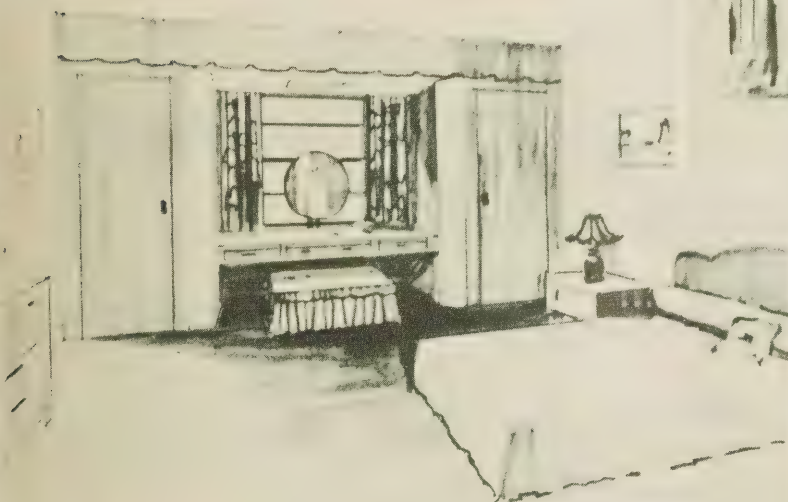


**TYPICAL FEATURE** of many of these plans is a glass-walled planting area, where plants will really have a chance to grow. Doors to terrace simplify outdoor meal service.

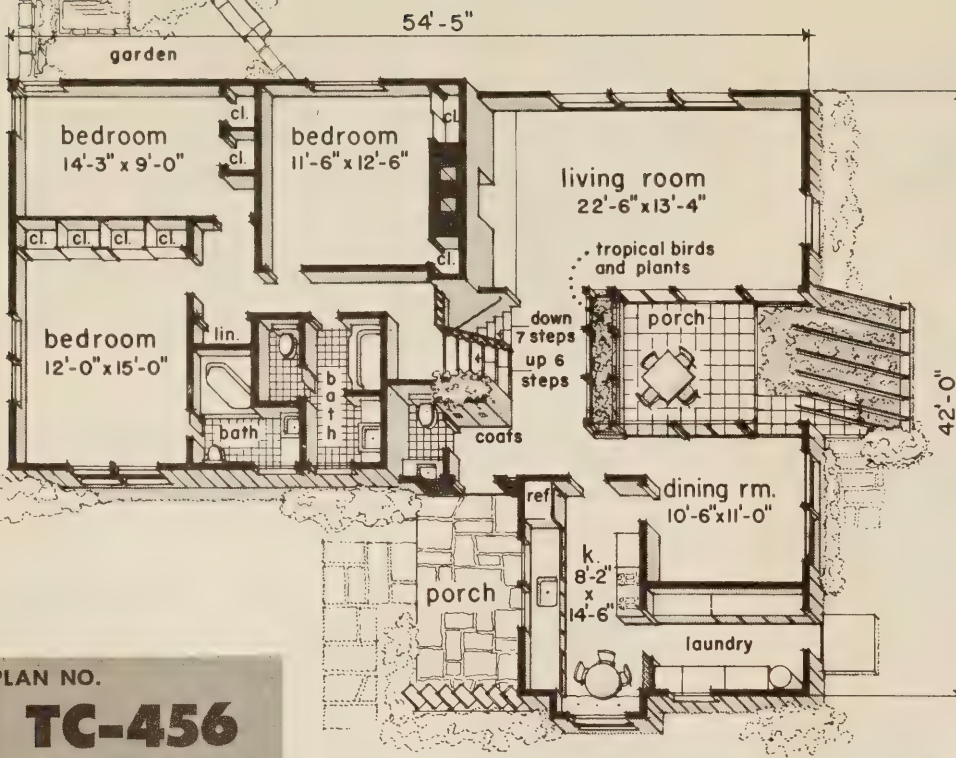


**BOW WINDOWS**, used in many plans in this book, are an architectural detail that beautifies both the exterior and the interior of a home.

**AT LEFT**, bedroom built-ins from Design 461 are similar to those in the sketch opposite, but the styling is traditional rather than contemporary.







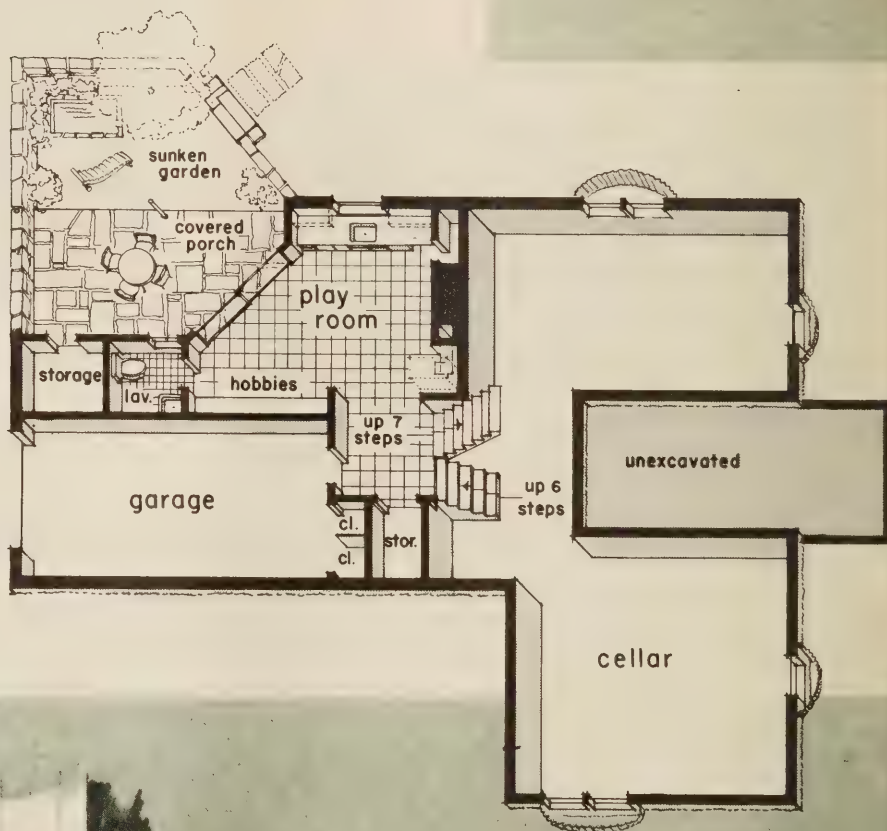
PLAN NO.

**TC-456**

SIZE: Sq. Ft.  
House (incl. int.  
porch) 1796

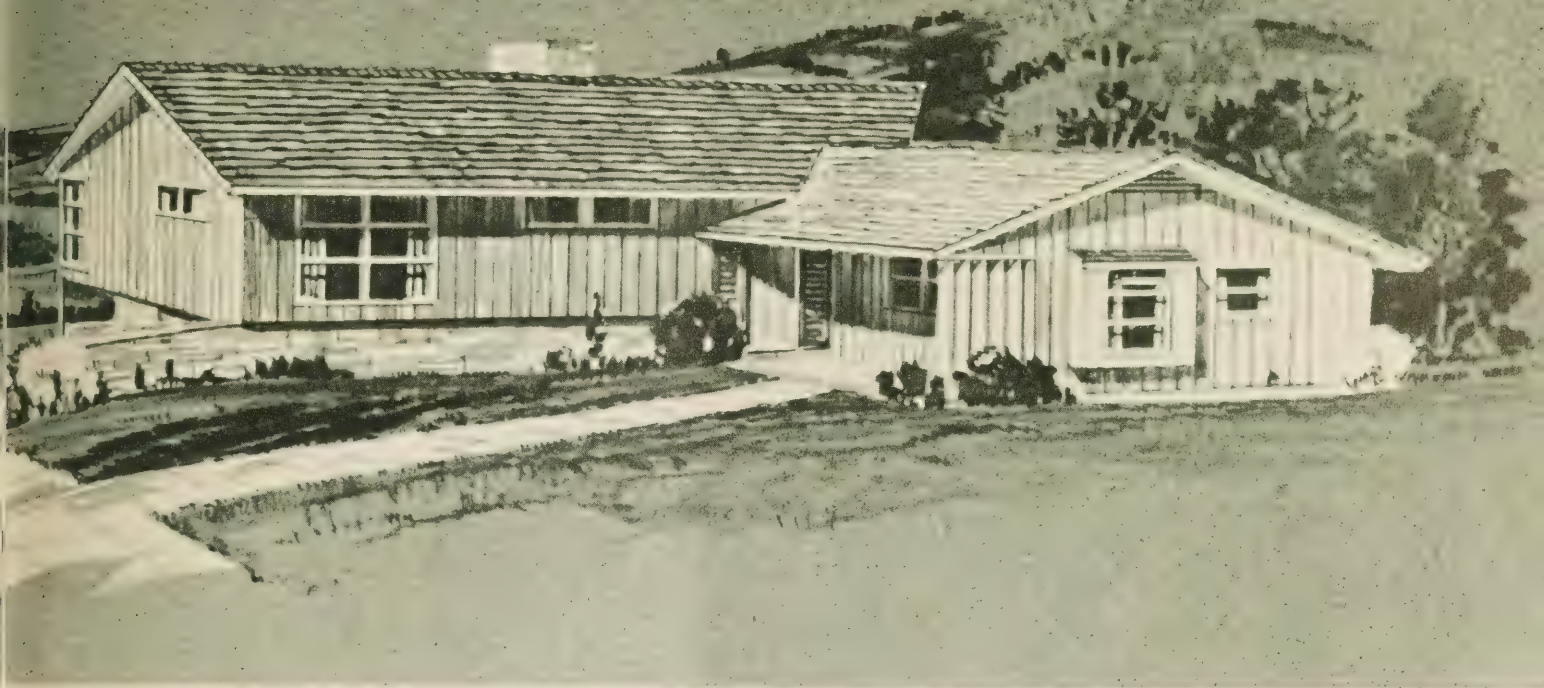
SIZE: Cu. Ft.  
House 18526

THE STONE foundations under the sleeping level of this home are extended out to form a decorative wall for the sunken garden, pictured below. Note that sliding glass walls between the covered porch and the play room may be opened to form a large recreation area, practically all outside for summer use. The lavatory at this level is conveniently located.



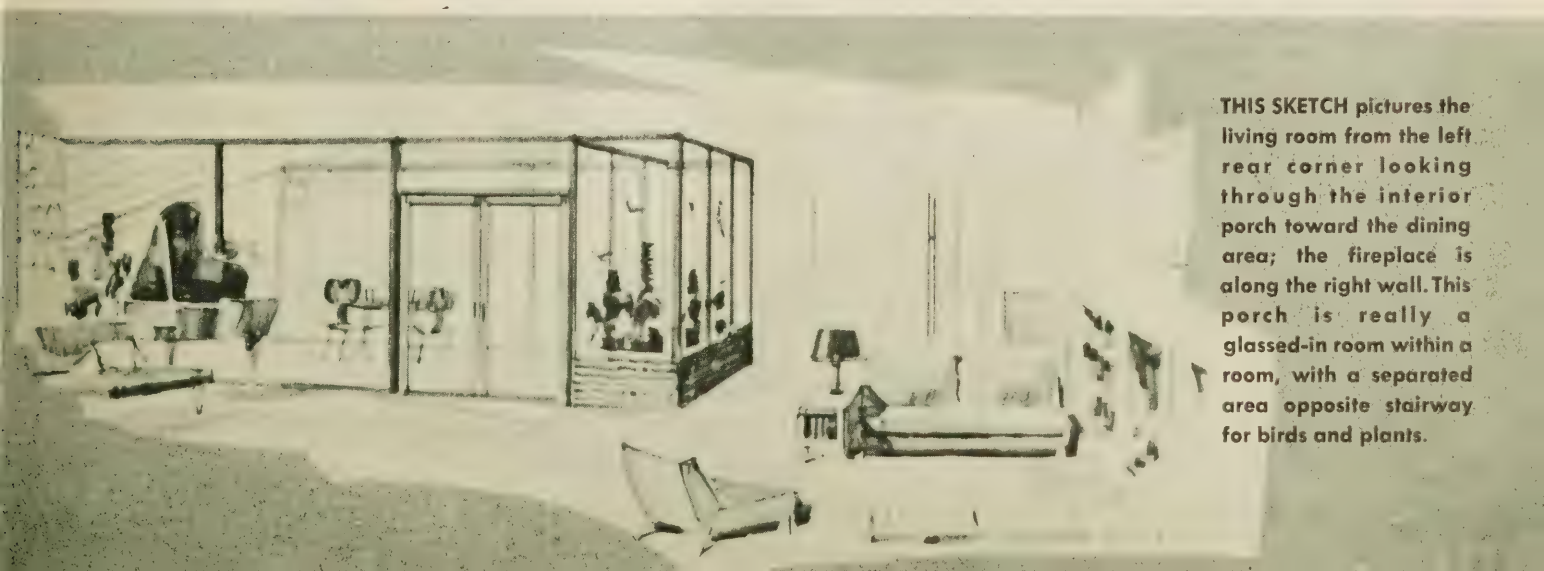


# Modern Split-Level Living



IT WILL TAKE you a good hour to study and appreciate the many delightful features of this home; so we in this short space can only give it a breathless once-over. It is strictly contemporary, with a low silhouette from ground level, with extended gable ends and vertical boards all around. Its L-shape with the inside corner entrance makes it usable two ways on a lot. The four levels are separated by six or seven steps which assures complete privacy for each area. The top, or sleeping, level has three very large bedrooms and two baths—one private to the master room, the

other compartmented. The living area level is really exciting. The porch, contained within the house and glazed on four sides (see sketch below) actually makes one huge room looking from dining room to the opposite end of the living room. The kitchen and laundry, another L-shaped device is unusually convenient. The third level is strictly for fun. It has an enclosed playroom with tile floor, and an equally large and similarly shaped covered porch which opens onto a sunken garden. The lowest level, part excavated, is prime space for hobby shops, a dark room and storage.



THIS SKETCH pictures the living room from the left rear corner looking through the interior porch toward the dining area; the fireplace is along the right wall. This porch is really a glassed-in room within a room, with a separated area opposite stairway for birds and plants.



PROJECTING slightly from the rear, this pleasing porch is reached either through kitchen or dining room, making it an outdoor sitting room or dining area.

# Ranch

PLAN NO.

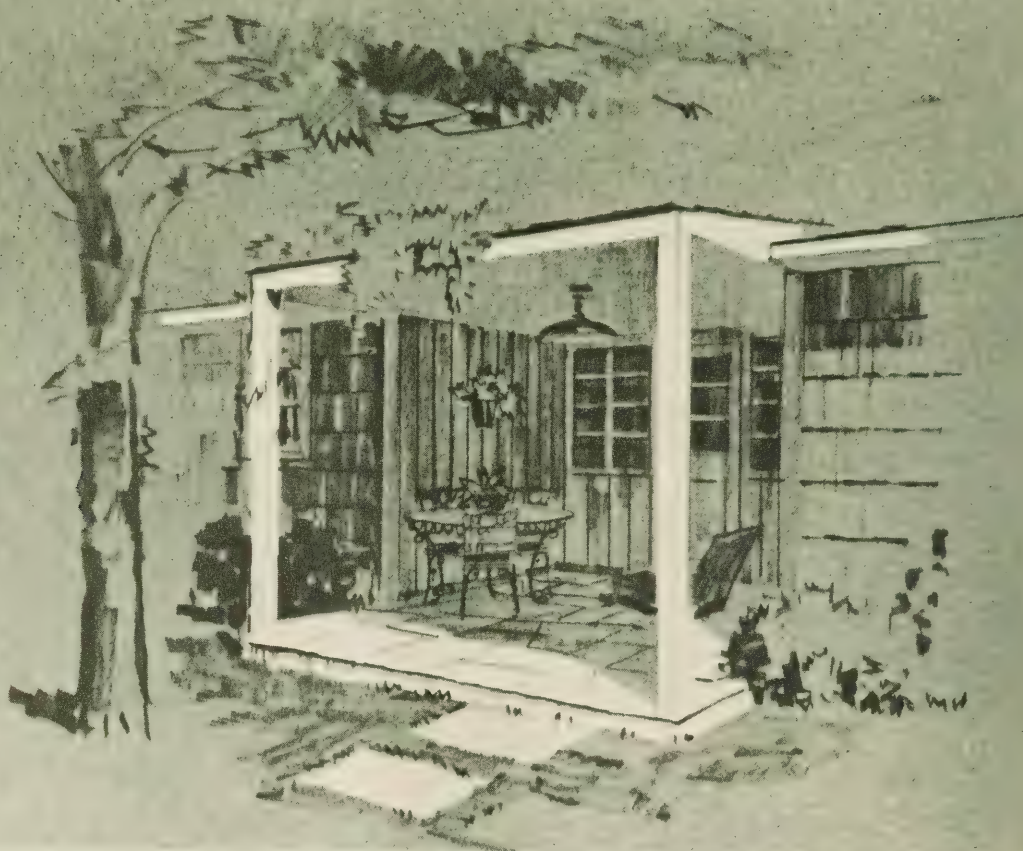
**TC-458**

SIZE: Sq. Ft.

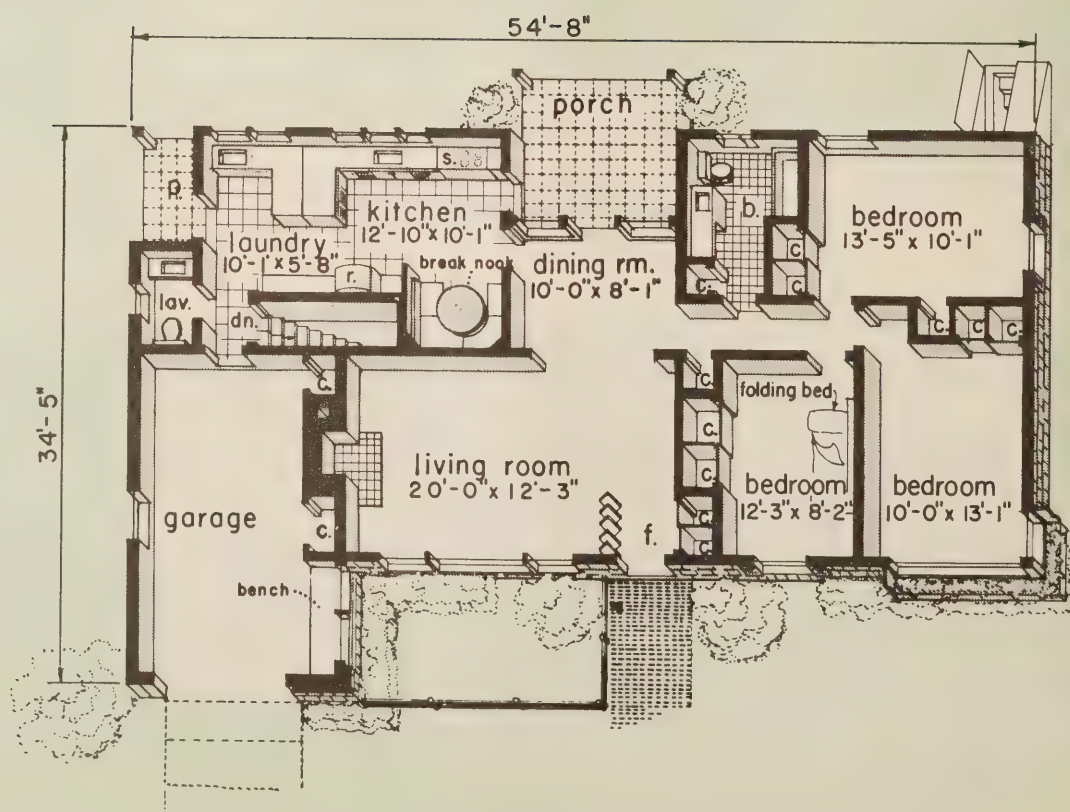
House 1234; Garage 260  
Porches 84

SIZE: Cu. Ft.

House 23446; Garage 2600  
Porches 840



THE ECONOMY of compact planning is evident by a close look at this layout. Every area, including the garage, is under the main roof and included all within the building lines. Closet space is most generous all over.





# Styling for Modern Plan

ALTHOUGH THIS home is long and low in the ranch manner, its exterior has popular features which appeal to many home builders. Inside, however, the plan moves on strictly contemporary lines, combining many functional areas so that no space is wasted and great convenience is developed for the homemaker. The combination kitchen-laundry-nook is a good example. In effect, this is one long room with fine windows along the rear wall. But the economical arrangement of equipment, permitting use of the same plumbing by both kitchen and laundry, separates this room into two single-purpose areas.

THE DINING ROOM is quite small, but it is a part of the living room, and opening onto the covered porch, it would appear much larger. But the dining area also serves as the hallway to the kitchen and the sleeping area, where one bath is located to serve the three large rooms. The living room is pleasantly long with a big fireplace at the end. For maximum convenience there is a toilet and lavatory just off the service entrance.

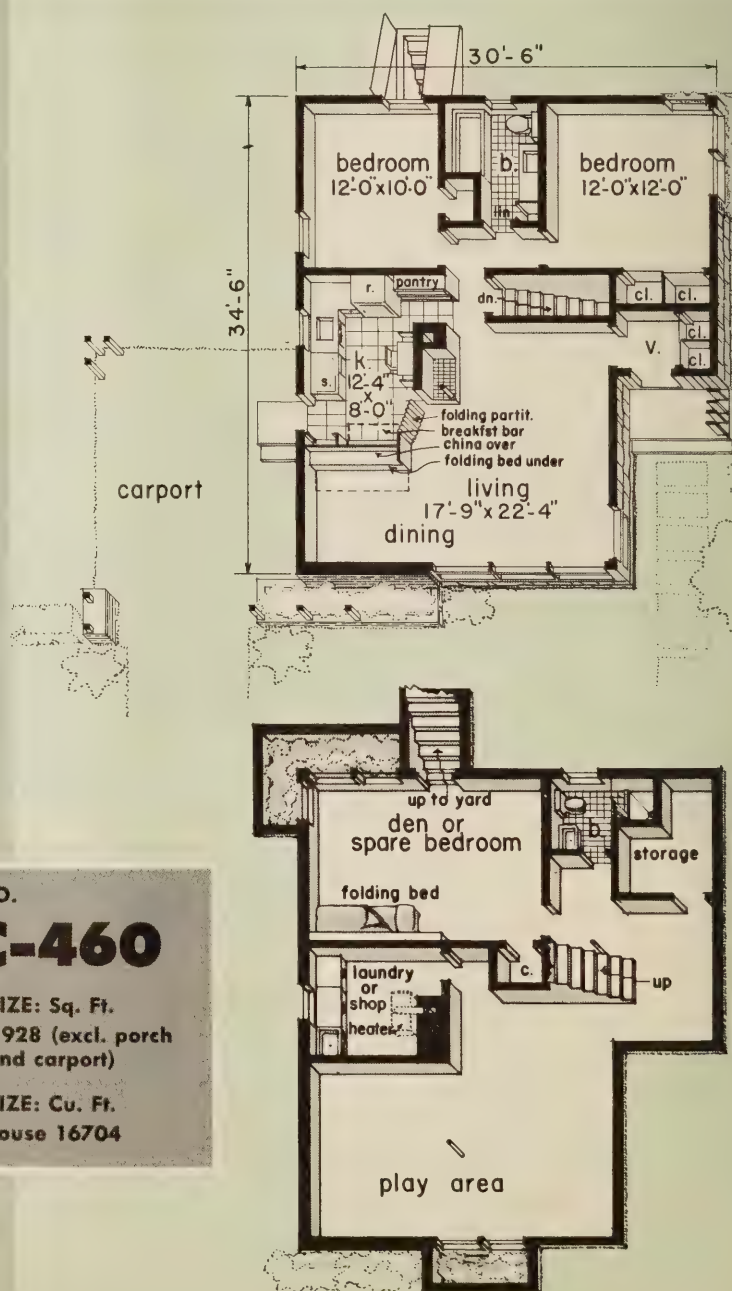






## MAXIMUM USE OF BASEMENT SPACE

WHEN SMALL budgets are all that can be expended on a new home, the greatest possible use must be made of all space under the roof to provide comfortable living. If a small ground area is used to keep costs down, some rooms must be used for several purposes. This plan offers both a pleasing ranch look and a practical solution to the multipurpose room problem. Aside from the two main floor bedrooms, part of the large living room, through the use of folding partition and folding bed, also can become a dining room or a spare sleeping space. The basement, however, is used for a large, well-lighted additional sleeping room, and has its own bath with shower. A large storage area, laundry-shop and play room, are all separated by full partitions. This is a small house with four possible sleeping rooms, but most economical to build due to its size.



PLAN NO.

**TC-460**

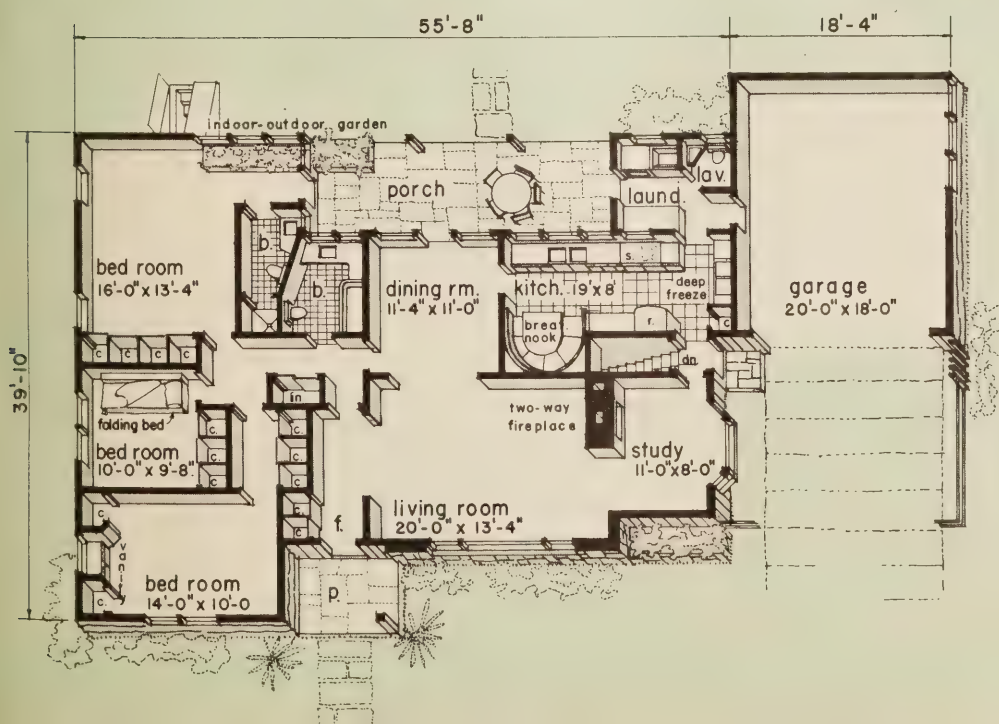
SIZE: Sq. Ft.  
House 928 (excl. porch  
and carport)

SIZE: Cu. Ft.  
House 16704



# SEVEN ROOMS AND UTILITIES ALL ON ONE LEVEL PLAN

SOME FAMILIES, particularly those with older people, seem to prefer homes where everything can be attended to without climbing up or down stairs. It is easy to design one-level houses, but it is not always possible to find plans as compact and economical in construction as this one. Three bedrooms are located in a line at the left of this plan. The two baths are jig-sawed together, providing complete facilities with a minimum of space and rough plumbing outlay. One serves the main part of the house; the other is used by the master room, but also opens onto the flagstoned terrace. The aisle-type kitchen, with complete work and storage equipment—including a freezer—opens onto a ground level laundry and adjacent lavatory. Unusual features are the two-way fireplace separating living room and den, indoor-outdoor garden, and thirteen closets in bedroom.



PLAN NO.

**TC-461**

SIZE: Sq. Ft.

House 1744; Porches 254  
Garage 379

SIZE: Cu. Ft.

House 34880; Porches 2286  
Garage 4169





# The Way to a Better-Planned Home

THE HOUSE you build will be no better than the blueprints from which it is built. That statement may sound trite, but did you ever stop to think of how many important ingredients go into a good set of plans?

First, the house must look right and be set properly on its site; it must have style not only from the front but on all sides. Important details must lend charm—windows properly placed and proportioned, roof lines pleasing, materials interestingly used.

Inside there must be complete livability consistent with size and price. The home should be packed with items that add convenience; space should serve more than a single purpose, such as in multi-use rooms, porches, basements and other areas.

Since there is no such thing as a cheap house, your problem is how to get the most value for your money. The photos on these two pages will give you an idea of a few of the people and facilities that have contributed to the plans and to our plan books. Tens of thousands of homes have been built from the designs produced and, because they were properly engineered, you will benefit from construction economies. Careful figuring and detailing allow stock sizes of material to be used, eliminating much cutting waste. Equipment is located for piping and wiring economies. Stock millwork items mean savings on special features and built-ins.

Of course any purchased plan may contain a few items that you would like to change to suit your

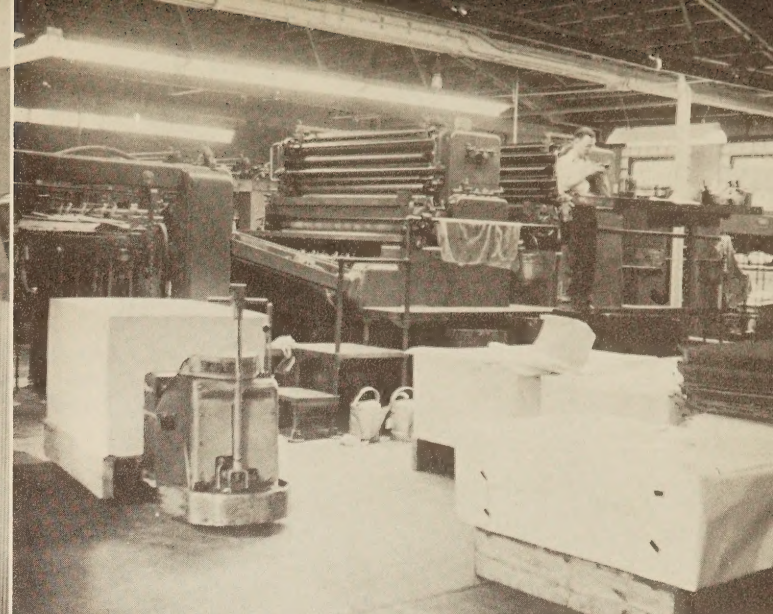
needs or tastes. You may want a small addition to a porch, a partition moved slightly or a room enlarged; you might need a larger or smaller garage or want a partial basement. Your local builder or architect can arrange to do it and still maintain the overall fine design and economy planning.

## *Plan Package Answers Your Questions*

Also you might wish to substitute a different exterior material—most areas have certain favorites such as brick, stone, wood siding, shingles, etc. You will find in the 9-Part Plan Package, described on the inside back cover, that Item 5 covers such adjustment details. In fact, this package was designed to answer your questions on most everything that will come up as you proceed with your home, including step-by-step instruction on what to do after you receive your blueprints. Use one of the two coupons when you order the blueprints for one of these Better-Planned Homes.

If you were not able to find in this book the size or room arrangement you were looking for, HomeMaster has two other plan books available—the first edition of "Town and Country Homes to Fit Your Budget" and "53 Economy House Plans for 1953". These two books together contain 87 homes, 136 pages and over 300 illustrations. Both will be mailed postpaid for \$1.00 or 60c a copy from HomeMaster Publications, Inc., 90-04 161st St., Jamaica 32, Long Island, New York.





**PHOTOS ON THESE TWO PAGES SHOW—**

Top, left: Building that houses New York headquarters of Home-Master Publications. From various sketches home designs are carefully studied for final changes to incorporate most wanted features. Next, draftsmen convert designs into drawings that will build into economical homes.

**TOP ROW ABOVE—**

Left: Conference on designs to select for publication those with top appeal. Right, one of the color presses on which plan books like this one are printed. Bottom, orders for books and blueprints are speedily filled and mailed.

Your HELP, Please!



1. How long have you had this book before sending this blueprint order? \_\_\_\_\_
2. How did you get the copy from which this coupon was clipped? \_\_\_\_\_
3. What features of this book did you find most helpful in selecting your plan? \_\_\_\_\_
4. How might it have been changed to be more useful to you? \_\_\_\_\_
5. What do you like best about the plan you have selected? \_\_\_\_\_

(Order Plans on other side)

Our THANKS—with the information you have given us here, we can do a better job.

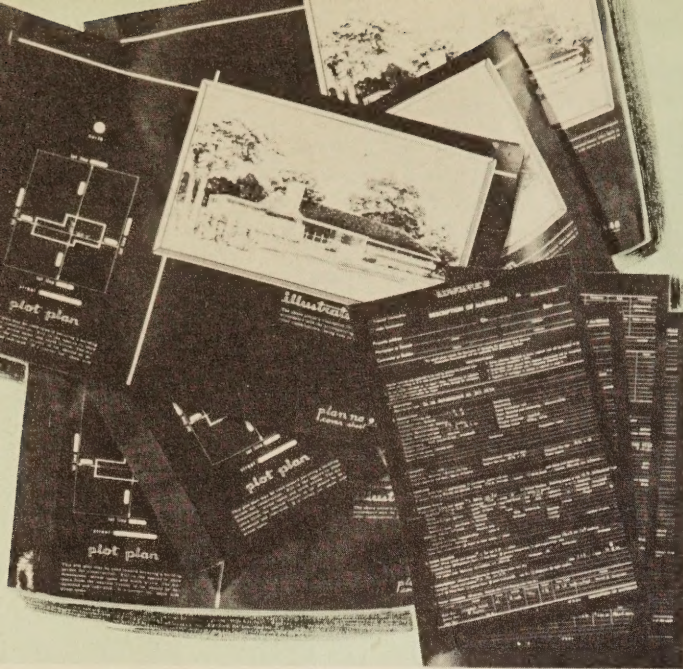
Your HELP, Please!



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4. How might it have been changed to be more useful to you? \_\_\_\_\_
5. What do you like best about the plan you have selected? \_\_\_\_\_

(Order Plans on other side)





# What You Get When You Order Blueprints

package—not merely the usual “plans and specs” shown at the left. This 9-part building program, described in detail and photographed on the opposite page, covers all the material needed to follow through on the construction of your home, from getting an accurate cost estimate, through the actual building, to taking care of your home after completion. Depending on the size of the house; you will receive between 80 and 100 sheets and pages of material—every bit of it planned to help you get the best home value possible with the least trouble.

WE ASSUME that you have gone through this book quite carefully and have selected one of the designs as your future home. Now you are ready to start on your thrilling adventure of home ownership. It is a big step—one of the most important financially that you may make in your lifetime. We have done all we can think of to assure your success.

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Because we do a large volume of business, it is possible to offer this complete home building program for \$35. It is brand new and to the best of our knowledge the only one of its kind. Upon receipt of your check or money order, we will rush it to you so that it will be in your hands in just a few days. For even faster service it will be air-mailed at an extra \$1.00 charge; or if more convenient you can have the package sent special delivery C.O.D., also for \$1.00 extra.

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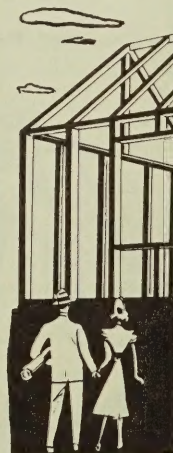
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## THE PLAN PACKAGE

**1. FOUR SETS of Working Drawing Blueprints:** Each carefully engineered bound set contains from 7 to 10 sheets which show . . . (A) Artist's illustration of the house for picture framing or color studies, plus a plot plan diagram; (B) Foundation Plan; (C) First Floor Plan; (D) Second Floor Plan, if the house is more than one story; (E) (F) (G) (H) Elevations of each side of the house; (J) Additional Drawings of details, construction, special framing, plumbing, diagrams, etc.

**2. FOUR SETS of Specification Blueprints:** Each set consisting of four individual sheets. Based on F.H.A. Outline Description of Materials Form—directly related to F.H.A. National Construction Requirements.

**3. LUMBER AND MILL LIST:** This valuable list gives the various pieces of lumber required by the plans. It shows the number of pieces needed, the sizes of each piece, and the kind of wood, in addition to the quantities and types of millwork (windows, doors, kitchen cabinets, trim, etc.). An absolute requirement by many lumber dealers and contractors, this list is a must for estimating costs quickly and accurately.

In addition to the above normal requirements of sufficient sets to cover mortgage loans, subcontractors, builder and contract requirements, the following are included free with the accompanying coupon:

**4. CONSTRUCTION ILLUSTRATIONS—**Over 50 easy-to-read drawings showing the standard

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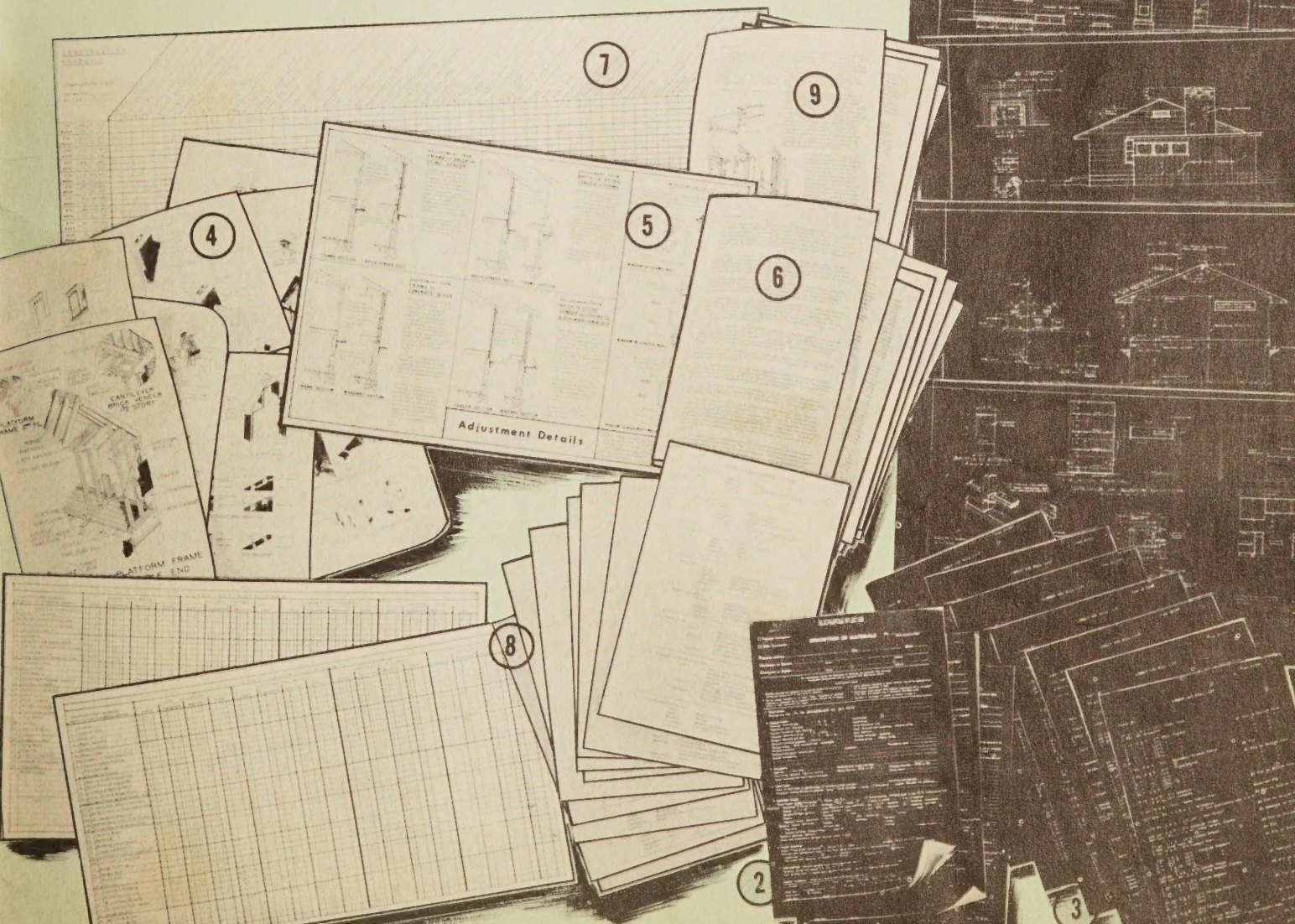
**5. ADJUSTMENT DETAILS—**Showing what to do and how to change from frame construction to masonry veneer, solid masonry, or concrete block.

**6. STEP BY STEP INSTRUCTIONS—**On what to do when you receive the plans, about obtaining mortgages, the builder, the lumber dealer, the surveyor, etc.

**7. CONSTRUCTION SCHEDULE—**Step by step progress schedule co-ordinated semi-weekly, so that you and your builder can keep track of the progress of your home—adapted from the techniques and schedules used by the country's most successful development builders.

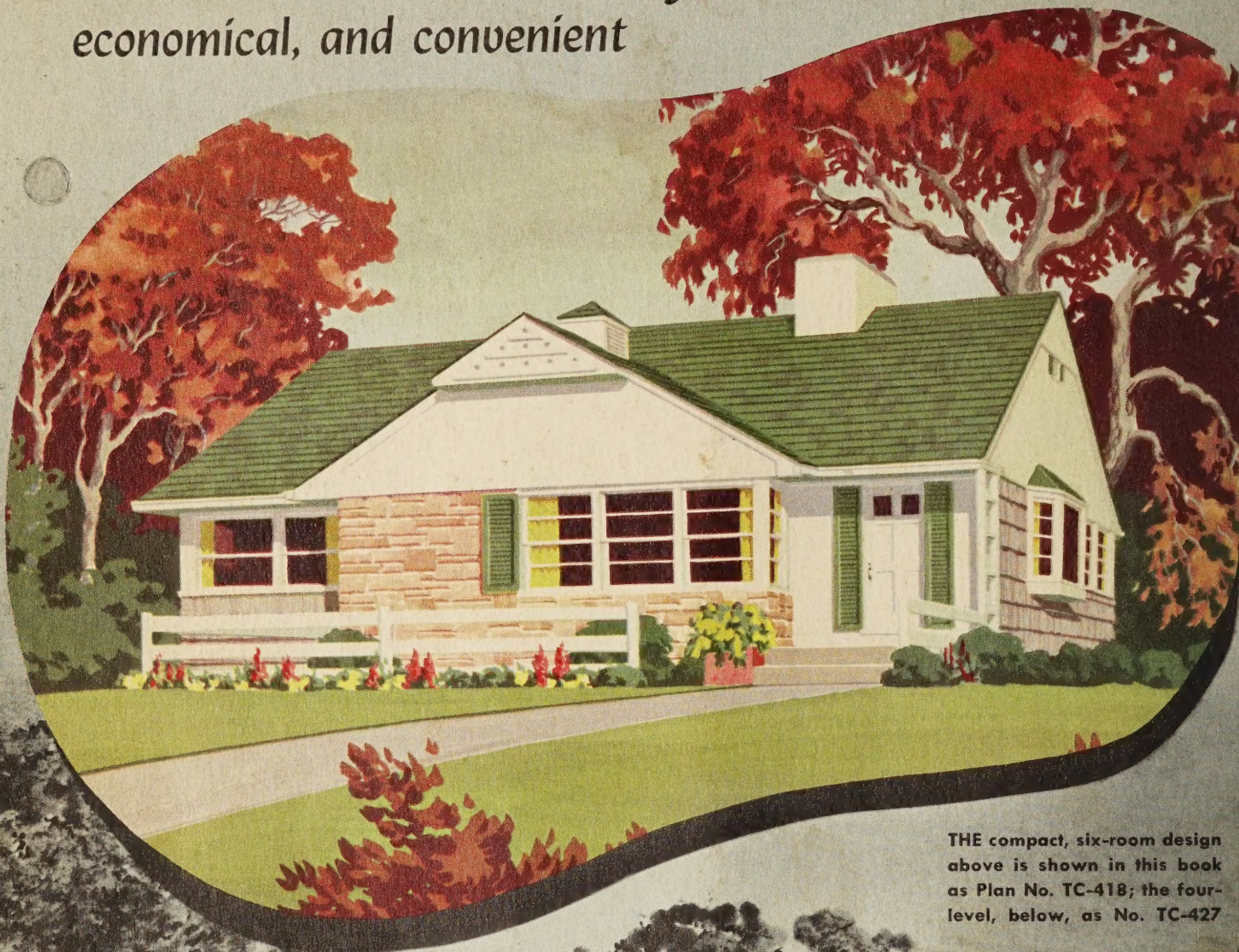
**8. ESTIMATING BREAKDOWN (2 Parts)—**Part 1 lists each building operation by various trades, contract and operation classifications. Part 2 lists preliminary estimates, subcontract estimates, and final costs per subcontract. This estimating breakdown was adapted from the National Association of Home Builders' now famous "Trade Secret" meetings.

**9. HOW TO TAKE CARE OF YOUR HOME—**Based on years of contact with the new home owner, this explains what you can expect from your home, why its construction was one way rather than another, and how to take care of your home for the best happy years of home ownership.





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THE compact, six-room design above is shown in this book as Plan No. TC-41B; the four-level, below, as No. TC-427

